

# JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

## VICINITY MAP



## SITE MAP



## GENERAL CONSTRUCTION NOTES

- G.C. SHALL INSPECT ALL DRAWINGS IMMEDIATELY UPON RECEIPT & REPORT ANY DISCREPANCIES, COMPLETS, ERRORS, OR OMISSIONS DISCOVERED. THIS INCLUDES COORDINATION WITH THE OTHER TRADES.
- G.C. IS RESPONSIBLE FOR ENSURING ALL WORK IS DONE IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS & IN COMPLIANCE WITH ALL BUILDING CODES, ORDINANCES & REGULATIONS OF ALL CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THESE PLANS & SPECIFICATIONS UNLESS A WRITTEN VARIANCE IS APPROVED BY THE OWNER.
- G.C. & ALL SUBCONTRACTORS SHALL VISIT & INSPECT THE PREMISES PRIOR TO SUBMITTING A PROPOSAL. SUBMISSION OF A PROPOSAL CONSTITUTES AN AGREEMENT THAT THE G.C. INCLUDED ALL ITEMS NECESSARY TO ACCOMMODATE THE EXISTING CONDITIONS. ANY CONDITIONS IN CONFLICT WITH THESE DRAWINGS & SPECIFICATIONS SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY UPON DISCOVERY. DESIGNER CANNOT BE HELD RESPONSIBLE FOR ANY HIDDEN CONDITIONS.
- G.C. SHALL OBTAIN ALL PERMITS & THE CERTIFICATE OF OCCUPANCY, UNLESS NOTED OTHERWISE.
- MATERIALS SHALL BE DELIVERED & STORED IN ORIGINAL, UNOPENED PROTECTIVE PACKAGING. INSPECT LARS IMMEDIATELY UPON DELIVERY FOR ACCURACY. STORE & INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PREVENT DAMAGE TO MATERIALS & SURROUNDING SURFACES WHEN HANDLING.
- G.C. SHALL KEEP A CLEAN & SECURE JOB SITE & TAKE ADEQUATE MEASURES TO PROTECT BUILDING & SITE OCCUPANTS & ITEMS SALVAGED FOR REUSE. IS RESPONSIBLE FOR RETURNING ANY DAMAGED ITEMS TO "LIKE NEW" CONDITION. OCCUPIED PUBLIC AREAS SHALL BE KEPT CLEAR OF CONSTRUCTION MATERIALS, SECURITY, NOISE & DUST BARRIERS SHALL BE MAINTAINED BY G.C. BETWEEN AREAS OF CONSTRUCTION & OCCUPIED PUBLIC AREAS.
- G.C. SHALL PERFORM FINAL CLEANING PRIOR TO END USE OCCUPANCY TO INCLUDE: VACUUMING & REMOVAL OF DUST, DEBRIS, OIL, STAINS, FINGERPRINTS, LABELS & WALL COVERING ADHESIVE.
- G.C. IS RESPONSIBLE FOR PROVIDING A COMPLETE & OPERATIONAL SPACE.
- WITHIN 30 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE REPRODUCIBLE SCALED AS-BUILTS TO THE OWNER & THE ARCHITECT. THESE AS-BUILTS SHALL REFLECT FINAL FIELD CONDITIONS AT PROJECT COMPLETION.
- WITHIN 60 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE THE END USER WRITTEN DOCUMENTATION OF ALL WARRANTIES & RECOMMENDED MAINTENANCE PROCEDURES FOR ALL EQUIPMENT & FINISH MATERIALS.
- TO THE BEST OF OUR KNOWLEDGE & INFORMATION, THESE DRAWINGS HAVE BEEN PREPARED IN CONFORMANCE WITH ANSI STANDARD A117.1 2009 & ADA TITLE II FOR MAKING BUILDINGS & FACILITIES ACCESSIBLE TO & USABLE BY PERSONS WITH DISABILITIES. ALTERATIONS, EXCEPTIONS & DEVIATIONS TO THESE RULES BY THE RESIDING JURISDICTION HAVE BEEN ACCOMMODATED TO THE BEST OF OUR KNOWLEDGE.
- HOLES & OPENINGS THROUGH WALLS & FLOORS FOR DUCTS, PIPING & VENTILATION SHALL BE CHECKED BY THE CONTRACTOR WHO SHALL VERIFY SIZES & LOCATIONS OF SUCH HOLES OR OPENINGS WITH PLUMBING, HEATING, VENTILATING & ELECTRICAL DRAWINGS & CONTRACTORS.
- PENETRATIONS THROUGH FLOOR/CEILING & ROOF/CEILING ASSEMBLIES SHALL BE FIRE RATED NOT LESS THAN THE ASSEMBLY BEING PENETRATED. THE CONTRACTOR SHALL PROVIDE MANUFACTURER TESTED SYSTEMS & DETAILS OR AN ENGINEERED JUDGEMENT FOR EACH TYPE OF PENETRATION REQ'D TO PERFORM THE WORK.
- OMISSIONS: IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED OUT ON THE DRAWINGS OR NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED OUT.
- INSTALLATION OF ALL PRODUCTS SHALL BE AS REQUIRED BY THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS AT THE TIME OF PERMITTING.
- CONTROLS & OPERATING MECHANISMS FOR ALL FIXTURES & FURNISHINGS SHALL BE OPERABLE BY A FORCE OF NO GREATER THAN 5 LBS WITH ONE HAND & NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO ACTIVATE CONTROLS.
- THE SELECTED CONTRACTOR SHALL SUPPLY ALL MISC. BLOCKING, BRACING, METAL TRIM, FASTENERS, HARDWARE, ETC. AS REQUIRED TO COMPLETE THE WORK HEREIN.
- ALL REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY ADA ACCESSIBILITY SIGNAGE HAVING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. TO BE INSTALLED IN ACCORDANCE WITH IBC SECTIONS 1011, 109 & 1110 ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR OR NEAREST ADJACENT WALL. G.C. SHALL PROVIDE & INSTALL SAG SIGNAGE, INCLUDING BUT NOT LIMITED TO: DIRECTIONAL SIGNS, EXIT SIGNS & ACCESSIBLE TOILET FACILITIES.
- G.C. SHALL REVIEW SPECIFICATIONS & DRAWINGS & VERIFY LEAD TIMES AT TIME OF BID/PROPOSAL SUBMISSION. FAILURE TO ORDER PRODUCTS IN A TIMELY FASHION SHALL REQUIRE ADHERENCE TO THE SUBSTITUTION REQUIREMENTS DESCRIBED IN THE PROJECT MANUAL.
- ITEMS INDICATED AS "SALVAGED" SHALL BE RELOCATED FROM THE EXISTING BUILDING & INSTALLED BY THE CONTRACTOR.
- SYSTEMS PROVIDED BY THE OWNER SHALL INCLUDE: DATA, IT, AV, DOOR ACCESS CONTROLS & EMERGENCY RESPONSE ALERTING.
- G.C. TO PROVIDE REQUIRED FUEL/PROP/GERANT/ELC/WATER SUPPLY, ROUGH-IN'S, EXHAUST, INTAKES, DRAINS, ETC. UNDER THE BASE BID FOR ALL EQUIPMENT ITEMS INDICATED IN THE PLANS. THIS SHALL INCLUDE BUT NOT BE LIMITED TO EQUIPMENT & FEATURES PROCURED & INSTALLED BY THE CONTRACTOR, PROVIDED BY OWNER (WHETHER INSTALLED BY CONTRACTOR OR OWNER).

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## GENERAL PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SELECT REPAIRS, REPLACEMENT, AND STRUCTURAL STABILIZATION AT NATIONAL REGISTER OF HISTORIC PLACES (NHP) SITE 8800342, COMMONLY REFERRED TO AS THE MATTHEW JONES HOUSE. WORK INCLUDES THE CONDITIONAL REPAIR AND REPLACEMENT OF HISTORIC BRICK MASONRY AND ASSOCIATED GROUT, WOOD ELEMENTS, AND METAL HARDWARE, AS WELL AS THE INSTALLATION OF NEW STRUCTURAL ELEMENTS TO STABILIZE AND MAINTAIN THE STRUCTURE.

AS THE BUILDING IS ON THE NATIONAL REGISTER OF HISTORIC PLACES, ALL WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING, AND RECONSTRUCTING HISTORIC BUILDINGS, AS WELL AS WITH THE STANDARDS OUTLINED IN PRESERVATION BRIEF NO. 2: REPORTING MASONRY JOINTS IN HISTORIC MASONRY BUILDING.

## PROJECT TEAM

ARCHITECT
GUERNSEYTINGLE 4350 NEW TOWN AVENUE, SUITE 101 WILLIAMSBURG, VIRGINIA 23188 757-225-0220
STRUCTURAL ENGINEER
TAM CONSULTANTS 4350 NEW TOWN AVENUE, SUITE 203 WILLIAMSBURG, VIRGINIA 23188 757-564-5850

REVISION SCHEDULE		
NO.	DATE	DETAILS
1		
2		
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ERECTION PROCEDURES, SEQUENCE AND SAFETY:

1. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR PERMANENT CONNECTIONS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY JOBS BRACING OR OTHERS THAT MAY BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ENGINEER HAS NO SUPERVISORY IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.
2. PROCESSING AND/OR APPROVING SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OR SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, SHALL NOT BE CONSIDERED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY RESPONSIBILITY FOR SAFETY PROCEDURES. IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOESN'T SUPERVISE CONSTRUCTION.

SHOP DRAWINGS:

1. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE GENERAL CONTRACTOR AND REVIEWED BY THE ENGINEER. UNDER NO CIRCUMSTANCES SHALL THE CONTRACT DRAWINGS BE REPRODUCED AND USED AS SHOP DRAWINGS.
2. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, ETC. TO SET THE STRUCTURAL WORK.
4. IF THE CONTRACTOR MODIFICATIONS INCLUDING PROPOSED SUBMISSION MUST BE IDENTIFIED IN WRITING AS A PROPOSED "AS EQUAL" CHANGE AT THE TIME OF SUBMISSION.
5. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS OR FAILS TO FOLLOW THE ABOVE "AS EQUAL" PROCEDURE, THE ENGINEER (TAM CONSULTANTS, INC.) WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT.
6. SHOP DRAWINGS ARE REVIEWED BY THE ENGINEER AS A CONVENIENCE TO THE CONTRACT AND ARE NOT A CONTRACT DOCUMENT.

INSPECTION:

1. SPECIAL INSPECTIONS ARE REQUIRED FOR THE PROJECT IN CONFORMANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) SECTION 1704 AND BIC 2016.
2. THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTIONS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE ITEMS LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS AND SCHEDULE FOR SPECIAL INSPECTIONS PREPARED FOR THIS PROJECT.
3. SPECIAL INSPECTION DOES NOT TAKE THE PLACE OF NORMAL INSPECTIONS REQUIRED BY CODE OFFICIALS. ALL NORMAL INSPECTIONS BY LOCAL CODE OFFICIALS ARE STILL REQUIRED.
4. THE STRUCTURAL ENGINEER OF RECORD MAY VISIT THE SITE PERIODICALLY TO ASCERTAIN GENERAL CONFORMANCE TO CONTRACT DOCUMENTS. THESE VISITS DO NOT SUBSTITUTE FOR SPECIAL INSPECTIONS. NOR DO THEY IMPLY ACCEPTANCE OF THE WORK. THEY SHOULD NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM OBLIGATIONS AND RESPONSIBILITIES UNDER THE CONSTRUCTION CONTRACT.
5. THE FOLLOWING ITEMS SHALL BE SHOP-FABRICATED BY A CERTIFIED FABRICATOR WITH A QUALITY ASSURANCE PROGRAM APPROVED BY THE LOCAL BUILDING CODE OFFICIAL, TO ALLOW FABRICATION WITHOUT IN-SHOP SPECIAL INSPECTIONS:
  - A. STRUCTURAL STEEL FRAMING.

IF THE FABRICATOR CANNOT SUBMIT AN ACCEPTABLE QUALITY ASSURANCE PROGRAM FOR THE COUNTRY, THE FABRICATOR'S WORK SHALL BE INSPECTED BY AN APPROVED, QUALIFIED AGENCY DURING FABRICATION AT NO ADDITIONAL COST TO THE OWNER.

AT THE CONCLUSION OF THE PROJECT, THE FABRICATOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL, STATING THAT THE WORK WAS COMPLETED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

DESIGN WITHOUT CONSTRUCTION REVIEW:

IT IS AGREED THAT IF TAM CONSULTANTS, INC.'S PROFESSIONAL SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THEN THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS TAM CONSULTANTS, INC., FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. TAM CONSULTANTS, INC. AGREES TO BE RESPONSIBLE FOR ITS OWN OR ITS EMPLOYEES' NEGLIGENT ACTS, ERRORS OR OMISSIONS.

OWNERSHIP OF DOCUMENTS:

THE CONTRACTOR ACKNOWLEDGES THESE PLANS AND SPECIFICATIONS PREPARED BY TAM CONSULTANTS, INC., AS INSTRUMENTS OF PROFESSIONAL SERVICE. NEVERTHELESS, THE PLANS AND SPECIFICATIONS PREPARED UNDER THIS AGREEMENT SHALL REMAIN THE PROPERTY OF TAM CONSULTANTS, INC. UPON COMPLETION OF THE WORK, THE CONTRACTOR AGREES TO HOLD HARMLESS AND INDEMNIFY TAM CONSULTANTS, INC., AGAINST ALL DAMAGES, CLAIMS AND LOSSES, INCLUDING DEFENSE COSTS, ARISING OUT OF ANY REUSE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF TAM CONSULTANTS, INC.

2018 VIRGINIA CONSTRUCTION CODE (VCC) DESIGN LOADS:

USELOCAATION	LIVE LOAD	DEAD LOAD
ROOF	20 PSF	15 PSF
<b>SNOW LOAD</b>		
• GRAIND SNOW LOAD, $P_g = 30$ PSF		
• SNOW EXPOSURE FACTOR, $C_e = 1.0$		
• SNOW LOAD IMPORTANCE FACTOR, $I = 1.0$		
• THERMAL FACTOR, $C_t = 1.0$		
<b>WIND LOAD</b>		
• ULTIMATE DESIGN WIND SPEED = 117 MPH		
• WIND RISK CATEGORY II		
• WIND EXPOSURE C		
• INTERNAL PRESSURE COEFFICIENT = +0.18		
• EXTERNAL PRESSURE COEFFICIENT = -0.18 (10, 50 FT)		
- ROOF: ZONE 1: + 29.04 (+ 33.21 PSF)		
ZONE 2: + 29.04 (+ 33.21 PSF)		
ZONE 3: + 29.04 (+ 33.21 PSF)		
- WALLS: ZONE 4: + 31.72 (+ 34.41 PSF)		
ZONE 5: + 31.72 (+ 34.41 PSF)		

EARTHQUAKE DESIGN DATA:

- SEISMIC IMPORTANCE FACTOR,  $I_e = 1.0$
- RISK CATEGORY II
- SPECTRAL RESPONSE ACCELERATION,  $S_a = 0.13g$ ,  $S_1 = 0.042g$
- SITE CLASS D
- SPECTRAL RESPONSE COEFFICIENT,  $SDS = 0.11$ ,  $SD1 = 0.06$
- SEISMIC DESIGN CATEGORY B
- ORDINARY PLAN MASONRY SHEAR WALLS
- SEISMIC RESPONSE COEFFICIENT,  $C_s = 0.107$
- RESPONSE MODIFICATION FACTOR,  $R = 1.5$

CONCRETE:

1. ALL CONCRETE WORK SHALL CONFORM TO ALL THE PROVISIONS OF THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 308-08) AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318-19).
2. ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS NOTED OTHERWISE. THE MAXIMUM SLUMP OF ALL CONCRETE SHALL BE 4".
3. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED.
4. THE CONTRACTOR SHALL COMPLY WITH ALL THE PROVISIONS OF "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING" (ACI 308-10) AND "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING" (ACI 308-10). THE CONTRACTOR SHALL SUBMIT COLD-HOT WEATHER PROCEDURES FOR APPROVAL.
5. ALL FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE FORMWORK FOR CONCRETE SPECIAL PUBLICATION NO. 4 AND ACT'S STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI 304-LATEST EDITION).
6. FLOOR SLABS SHALL BE FINISHED TO A MINIMUM FINISH NUMBER, FF = 25 AND A MINIMUM LEVELNESS NUMBER, FL = 20 IN ANY DIRECTION.
7. CONCRETE STRUCTURES MAY NOT SUPPORT THEIR DESIGN LIVE LOAD UNTIL THE SPECIFIED COMPRESSIVE STRENGTH HAS BEEN ACHIEVED. LOADS GREATER THAN THE DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE. THE CONTRACTOR SHALL SUPPORT ADJACENT STRUCTURES, UTILITIES, AND EXCAVATIONS AS REQUIRED FOR COMPLETION OF WORK.
8. ONE SET OF COMPRESSIVE TEST CYLINDERS FOR EACH 100 CUBIC YARDS POURED, BUT NOT LESS THAN ONE SET FOR EACH DAYS PLACEMENT AND EACH CLASS OF CONCRETE, ALONG WITH SLUMP TESTS SHALL BE PERFORMED BY A TESTING LABORATORY APPROVED BY THE STRUCTURAL ENGINEER.
9. ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 308. STANDARD SPECIFICATION FOR CURING CONCRETE. LIQUID CURING COMPOUNDS SHALL BE COMPATIBLE WITH FLOORING ADHESIVES AND OTHER SURFACE TREATMENTS AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO USE.
10. ALL CONCRETE LEFT EXPOSED AT THE COMPLETION OF THE PROJECT SHALL BE TREATED WITH A CLEAR, PENETRATING ACRYLIC-BASE POLYMER CAPABLE OF PREVENTING INfiltration OF WATER BEING CHLORIDES SUCH AS CONCRETE #1 BY CONSPICUOUSLY MARKING A MANUFACTURING COMPANY OR APPROVED EQUAL.

REINFORCING STEEL:

1. REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A615, GRADE 60.
2. BENDS SHALL BE FABRICATED AS PER DETAILS.
3. PLACE MAIN REINFORCING STEEL SO AS TO PROVIDE 3" MINIMUM COVER FOR BEAMS AND COLUMNS, 1" MINIMUM COVER FOR SLABS AND 1 1/2" FOR ALL REBAR IN EXPOSED CONCRETE (EXCEPT AS OTHERWISE DETAILED).
4. ALL BEAM AND SLAB STEEL SHALL HAVE A MINIMUM EXTENSION INTO THE SUPPORTS IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA CODE.
5. PROVIDE ACCESSORIES AND BAR SUPPORTS IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315-00).
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, GRADE 60 UNLESS OTHERWISE NOTED. WWP REINFORCING SHALL BE PLACED AT MID-DEPTH OF SLABS ON GRADE AND DRAPED OVER SUPPORTS IN CONCRETE BEAMS ON CENTERING. END LAPS OF ALL WWP REINFORCING SHALL BE 8" MINIMUM.
7. UNLESS NOTED OTHERWISE, REINFORCING STEEL BAR LAPS SHALL BE AS FOLLOWS:

A. CONCRETE:						
#3 - 1'-0"	#4 - 2'-4"	#5 - 2'-11"	#6 - 3'-6"	#7 - 4'-1"	#8 - 4'-11"	

STRUCTURAL STEEL:

1. ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL BE IN ACCORDANCE WITH ASTM A992 SPECIFICATIONS (Fy = 50 KSI). ALL OTHER STRUCTURAL STEEL SHAPES SHALL BE IN ACCORDANCE WITH ASTM A36 SPECIFICATIONS (Fy = 36 KSI). TUBES SHALL BE IN ACCORDANCE WITH ASTM A500 GRADE B (Fy = 48 KSI).
2. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
3. ALL FIELD BOLT SHEAR CONNECTIONS SHALL BE BEARING TYPE CONNECTIONS (THREADS INCLUDED IN THE SHEAR PLANE) WITH 3/4" DIAMETER ASTM A325 HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL SHEAR CONNECTIONS SHALL BE DESIGNED TO SUPPORT HALF OF THE TOTAL UNIFORM LOAD CAPACITY SHOWN IN THE "TABLES OF ALLOWABLE LOADS ON BEAMS" OF THE CURRENT EDITION OF THE AISC "MANUAL OF STEEL CONSTRUCTION". THE LENGTH OF THE SPAN SHALL BE AS SHOWN ON THE DRAWINGS. THE ABOVE IS NOT REQUIRED IF THE REACTION IS SHOWN ON THE PLANS.
4. ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION AND THE LATEST EDITION OF THE "CODE FOR WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY. USE E70XX LOW HYDROGEN ELECTRODES.
5. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STEEL FRAME IN PROPER ALIGNMENT UNTIL BRACING IS IN PLACE TO RESIST LATERAL MOVEMENT OF THE FRAME.
6. TO ALL STRUCTURAL STEEL SHALL BE SHOP PRIMED PRIOR TO DELIVERY TO THE SITE. PRIME COLOR SHALL BE GRAY.
7. ALL STRUCTURAL STEEL AND CONNECTIONS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED OR COATED PER ARCHITECTURAL SPECIFICATIONS.

TIMBER:

1. STRUCTURAL WOOD JOISTS, BEAMS AND HEAVY TIMBER MEMBERS SHALL BE NO. 2 SOUTHERN PINE OR BETTER. STRUCTURAL WOOD RAFTERS AND STUDS SHALL BE NO. 2 AND 4 SPRUCE PINE FIR OR BETTER (EXCEPT AS NOTED OTHERWISE). MINIMUM PROPERTIES SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) DESIGN VALUES FOR WOOD CONSTRUCTION.
2. LUMBER SHALL BE KILN-DRIED TO 15% MOISTURE CONTENT AFTER TREATMENT.
3. ENGINEERED LUMBER JOISTS, HEADERS AND BEAMS SHALL CONFORM TO THE "PREFABRICATED LAMBS AND MID-SPAN LAMINATED" (VENER LUMBER LVL) AS MANUFACTURED BY GEORGIA-PACIFIC. LVL PRODUCTS SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 1.9 KSI AND FLEXURAL STRESS OF 2.75 KSI.
4. WOOD STRUCTURAL PANELS FOR SHEATHING AND SUBFLOOR SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
  - FLOOR: 2332 APA RATED STUD-FLOOR, 24" O.C., EXPOSURE 1, GROUP 1, GLUED AND NAILLED TO WOOD JOISTS AT 16" O.C. OR 24" O.C.
  - WALLS: 1332 APA RATED SHEATHING 32-16 EXPOSURE 1
  - ROOF: 1332 APA RATED SHEATHING, 400K EXTERIOR, GROUP 1 - PROVIDE PLYWOOD SHEATHING CLIPS AT 16" ON CENTER WHERE EDGES OF PANELS ABUT ONE ANOTHER.
5. WALL SHEATHING SHALL BE NAIL TO FRAMING USING 60 COMMON NAILS AT 4" O.C. FOR ALL PANEL EDGES AND AT 12" O.C. IN THE FIELD UNLESS NOTED OTHERWISE. FOR PANELS USED IN BEAR WALLS, SEE SHEAR WALL SCHEDULE FOR NAILING PATTERNS AND OTHER REQUIREMENTS.
6. ROOF SHEATHING SHALL BE NAIL TO FRAMING USING 100 COMMON NAILS AT 4" O.C. FOR ALL PANEL EDGES AND AT 12" O.C. IN THE FIELD UNLESS NOTED OTHERWISE.
7. ALL LUMBER, BLOCKING, FURRING AND OTHER WOOD IN CONTACT WITH CONCRETE, MASONRY, THE GROUND OR EXPOSED TO THE WEATHER SHALL BE PRESURE TREATED WITH WATER-BORNE PRESERVATIVES IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS INSTITUTE STANDARD (AWPA) P5.
8. COAT ALL CUT SURFACES OF TREATED LUMBER WITH AN APPROVED PRESERVATIVE.
9. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR ROOF SLOPES, RITCHES AND WORKING POINTS. COORDINATE WITH MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ALL ROOF OPENING SIZES AND LOCATIONS. PROVIDE MEMBERS AND HEADERS AT ALL OPENINGS WIDER THAN MEMBER SPACING. CONNECT HEADERS TO SUPPORTING MEMBERS WITH STEEL HANGERS.
10. WHERE WOOD JOISTS FRAME INTO BEAMS, USE 18 GAUGE DIAGONAL X-BRIDGING BETWEEN ALL FLOOR JOISTS OR TRUSSES AT 8'-0" ON CENTER AND BETWEEN ALL ROOF JOISTS OR TRUSSES AT 10'-0" ON CENTER MAXIMUM.
11. ALL ROOF TRUSSES WITH OVERHANGS, ALL ROOF RAFTERS IN CATHEDRAL CEILING AREAS, ALL FLOOR JOISTS/TRUSSES IN EXTERIOR BALCONIES, EVERYWHERE FIRST FLOORS AND DECKS ARE ELEVATED ABOVE THE PERIMETER GRADE ELEVATIONS AND ALL OTHER HORIZONTAL SURFACES EXPOSED TO WIND UPLIFT SHALL BE SECURED TO THE BUILDING FRAMING WITH 18 GAUGE HURRICANE ANCHORS AND 10" NAILS.
12. PREFABRICATED WOOD FLOOR OR ROOF TRUSSES SHALL BE DESIGNED PER THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (TP1-2014) AS PREPARED FOR THE TRUSS PLATE INSTITUTE, INC. (<http://www.assaap.com/catalog/tp1-2014>)
13. PREFABRICATED WOOD TRUSSES SHALL BE CUSTOM DESIGNED TO THE DIMENSIONS AND LOADS INDICATED ON THE PLANS. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE ALLOWABLE LOAD VALUES SHOWN ON THE PLANS.
14. ALL PREFABRICATED WOOD TRUSSES SHALL HAVE ERECTION BRACING, STRUT BRACING AND BRIDGING AS REQUIRED BY THE MANUFACTURER TO RESIST ALL CONSTRUCTION AND BUILDING LOADS.
15. SHOP DRAWINGS FOR PREFABRICATED WOOD TRUSSES SHALL INCLUDE DESIGN CALCULATIONS, LOADING CONDITIONS, MEMBER FORCES, INTERNAL CONNECTIONS, TIE-DOWN FORCES AND STRESS CONTROL POINTS, AND SHALL BE SEAL BY A REGISTERED PROFESSIONAL ENGINEER AND SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL.
16. ALL CONNECTIONS OF BEAM BEAMS TO COLUMNS, BRACING TO STRUCTURE AND COLUMNS TO FOUNDATIONS SHALL BE ACCOMPISHED USING STEEL CONNECTIONS OF THE TYPES SHOWN ON THESE DRAWINGS. ALL PLATES AND BARS USED IN THESE CONNECTIONS SHALL BE GALVANIZED OR GALVANNEAL STEEL CONFORMING TO ASTM A-36 WITH BOLTS CONFORMING TO ASTM A-307.
17. ALL CONNECTIONS INCLUDING PLATES, DIMBLS, BOLTS AND NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED. ALL CONNECTION HARDWARE IN CONTACT WITH PRESURE TREATED WOOD SHALL BE HOT DIP GALVANIZED AND RATED FOR THE TREATMENT USED.

ABBREVIATIONS

A.B.	- ANCHOR BOLT
ARCH.	- ARCHITECT, ARCHITECTURAL
BLDG.	- BUILDING
B.O.S.	- BOTTOM OF STEEL
C.L.R.	- CLEAR
COL.	- COLUMN
CFS	- COLD FORMED STEEL
DET.	- DETAIL
Ø	- DIAMETER
E.F.	- EACH FACE
EL.	- ELEVATION
E.W.	- EACH WAY
EXIST.	- EXISTING
F.F. EL.	- FINISH FLOOR ELEVATION
F.O.	- FACE OF
FTG.	- FOOTING
GWB	- GYPSUM WALL BOARD
HORIZ.	- HORIZONTAL
LV.	- LONG LEG VERTICAL
LH	- LONG LEG HORIZONTAL
O.C.	- ON CENTER
O.H.	- OPPOSITE HAND
PL.	- PLATE
REIN.	- REINFORCING, REINFORCED
SM.	- SIMILAR
T.O.F.	- TOP OF FOOTING
T.O.S.	- TOP OF STEEL
TYP.	- TYPICAL
UNLESS NOTED OTHERWISE	- UNLESS NOTED OTHERWISE
VERT.	- VERT.
W.	- WITH
W/O	- WITHOUT

SHEET INDEX

S2.01	GENERAL STRUCTURAL NOTES
S1.01	FOUNDATION PLAN & DETAILS
S2.01	WEST WALL - LATERAL BRACING
S2.02	ROOF FRAMING PLAN & DETAILS
S3.01	EXTERIOR ELEVATIONS
S3.02	INTERIOR ELEVATIONS
S3.03	MASONRY & CONCRETE DETAILS

GENERAL NOTES FOR THE RESTORATION OF THE MASONRY WALLS:

1. EACH BIDDING CONTRACTOR SHALL CERTIFY TO THE DESIGN PROFESSIONAL THAT THEY HAVE A MINIMUM OF 5 YEARS EXPERIENCE WITH THE REPAIR OF HISTORICAL MASONRY BUILDINGS.
2. EACH BIDDING CONTRACTOR SHALL INVESTIGATE THE ON-SITE CONDITIONS OF THIS WORK TO FULLY UNDERSTAND AND THE SCOPE OF THE WORK. EXAMPLE: THERE ARE SEVERAL TYPES OF MASONRY HEREON THAT WILL REQUIRE A SPECIFIC MORTAR STRENGTH, TEXTURE AND COLOR. MATCH EXISTING JOINT WIDTHS AND PROVIDE NEW BREAK TO MATCH. PROVIDE THE DESIGN PROFESSIONAL WITH A REPRESENTATIVE MOCK-UP OF EACH TYPE OF MASONRY, AND BILL WORK FOR THEIR APPROVAL. APPROVED MOCKUPS SHALL BE THE BENCHMARK FOR ALL WORK.
3. PROVIDE A UNIT PRICE FOR EACH TYPE OF MASONRY WORK DENOTED ON THESE PLANS TO ALLOW FOR THE POSSIBLE ADD OR DEDUCT IN THE WORK ON THIS PROJECT.
4. SEE THE ELEVATIONS FOR THE EXTENT OF RECONSTRUCTING WORK REQUIRED ON EACH BUILDING IN THIS PROJECT. ALL EXISTING MASONRY WORK SHALL BE REPOINTED TO AN APPROXIMATE PERCENT INDICATED FOR A GIVEN AREA ON THE ELEVATIONS. SUBMIT FOR APPROVAL ALL PROPOSED MORTAR MIXES FOR EACH CONDITION IDENTIFIED ON THE PLANS AND ON-SITE. FOLLOW ASTM C1107 - 02(2014) STANDARD GUIDE FOR REPOINTING HISTORIC MASONRY AND THE NATIONAL PARK SERVICE TECHNICAL PRESERVATION BRIEF #2: REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS. SEE REFERENCES AT.
5. WHERE THEY OCCUR, FILL ALL ANCHOR HOLES FROM ABANDONED FASTENERS IN EXISTING BRICK MASONRY AND CONCRETE WITH AN EPOXY MORTAR COLORED TO MATCH THE ADJACENT MATERIAL'S COLOR AND TEXTURE. REMOVE EXISTING FASTENERS AND ACCESSORIES TO PROPERLY PERFORM THIS WORK. SEE REFERENCE AT:  
<http://www.mgs.gov/arch/chow-to-conserve/handling-cement-mortar-joints.htm>  
<http://www.assaap.com/catalog/tp1-2014>  
(Mortar Patching Holes in Stone Masonry)
6. CLEAN ALL EXISTING MASONRY AND STONE WORK BEFORE AND AFTER REPAIRS ARE MADE TO THESE ELEMENTS AND REPOINTING WORK HAS BEEN CLEANED AND CURED TO ACCEPTABLE LIMITS. USE A NON-IONIC DETERGENT FOR GENERAL CLEANING AND APPROVED CHEMICAL CLEANERS FOR STAINING, GRAYTIL, PAINTS, SEALANT AND OTHER COATINGS. FOLLOW SUGGESTIONS FROM THE NATIONAL PARKS SERVICE TECHNICAL PRESERVATION SERVICES. SEE REFERENCES AT.
8. THE CONTRACTOR SHALL PROVIDE THE DESIGN PROFESSIONAL AND OWNER WITH A MEANS OF PERFORMING A CLOSE-UP INSPECTION OF THE BRICK WORK AS A MEANS OF FURTHER QUANTIFYING THESE EFFORTS IF THE NEED ARISES.
9. CONTRACTOR SHALL REMOVE OR TRIM LANDSCAPING AS REQUIRED FOR ACCESS. OBTAIN APPROVAL PRIOR TO WORK.

REVISION SCHEDULE		DATE	INITIALS
#	DESCRIPTION		

This sheet is not valid unless signed by the Professional Engineer of Record for the project.

GENERAL STRUCTURAL NOTES

90%  
PROGRESS  
SET

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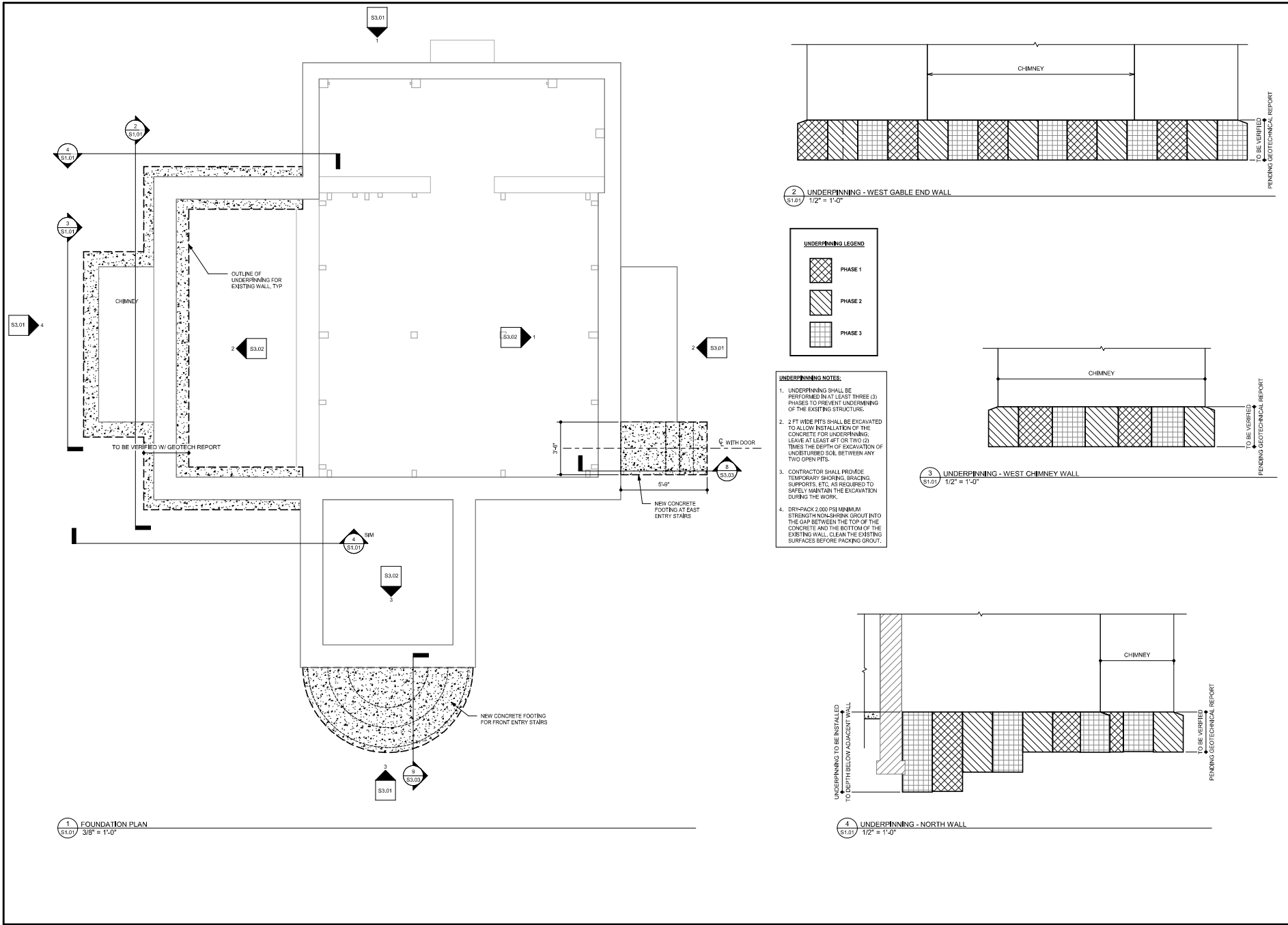
1320 NEW TOWN AVE.  
NITELAND, VA 23060  
(757) 361-1414  
720 PRINCE GEORGE BLVD  
NORFOLK, VA 23502  
(757) 871-9850  
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Date: 3/12/25  
Drawn: Author/Checked: TPJ  
Project: MB246004

S0.01

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**GuernseyTingle**  
757-225-0230 Williamsburg, VA  
guernseytingle.com

**JBLE MATTHEW JONES HOUSE**

OWNER  
JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

REVISION SCHEDULE	
NO.	DATE

Notes: 1. All revisions must be approved by the Designer. 2. All revisions must be approved by the Owner. 3. All revisions must be approved by the Engineer.

**FOUNDATION PLAN & DETAILS**

90% PROGRESS SET

**TAM CONSULTANTS**

1320 N.W. 10TH AVE.  
FT. LAUDERDALE, FL 33311  
(754) 381-1811

730 PHINNEY STREET, SUITE 200  
N. WILMINGTON, DE 19801  
(302) 421-4500

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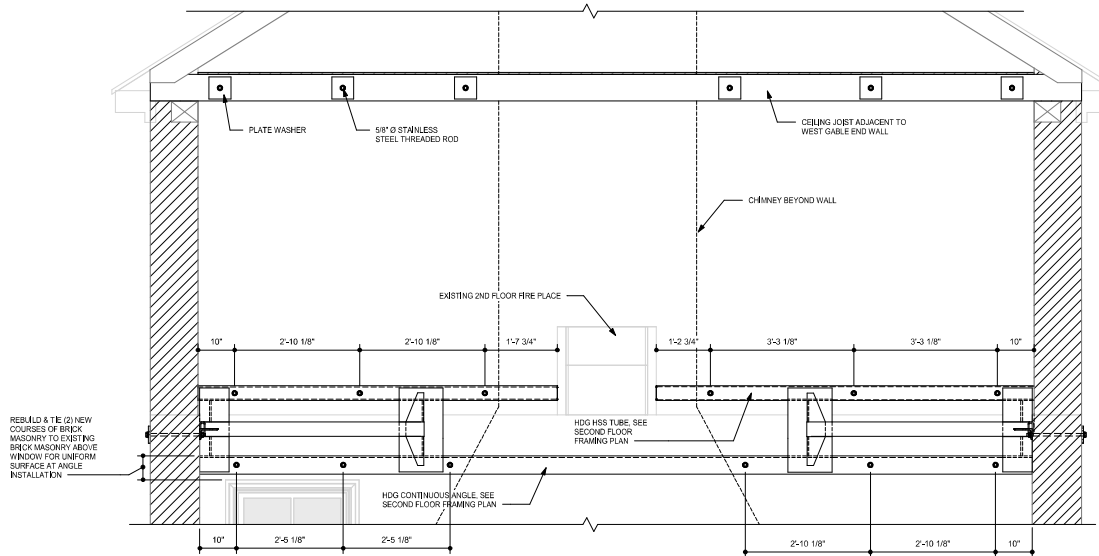
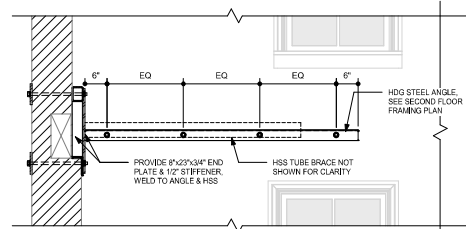
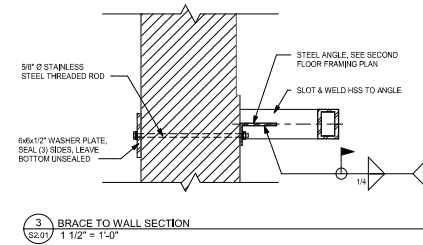
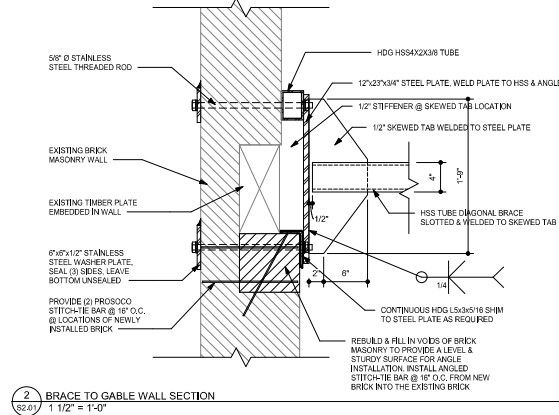
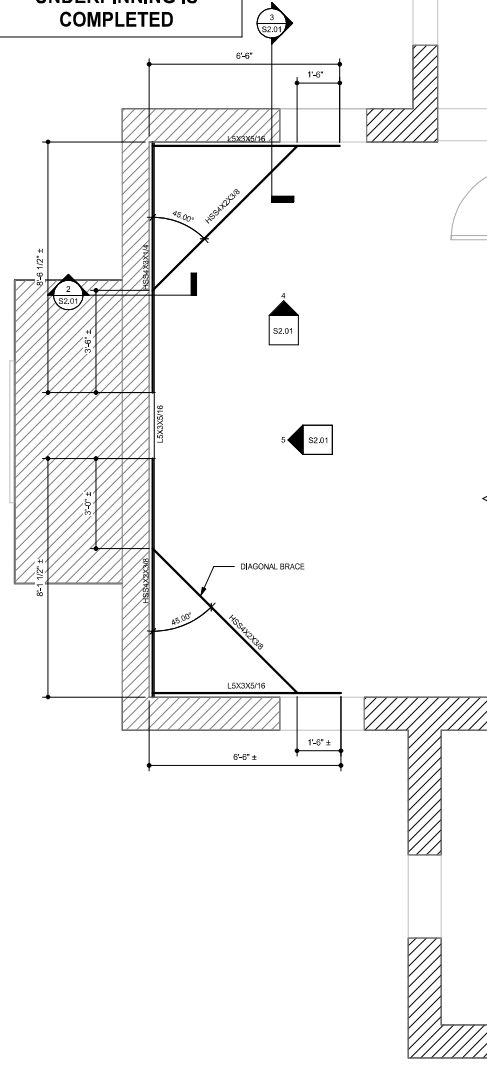
In Development

Date: 3/12/25  
Drawn: MJL Checked: TPJ  
Project: MB246004

**S1.01**

ALL DIMENSIONS &  
GEOMETRY TO BE  
VERIFIED IN THE FIELD  
PRIOR TO FABRICATION

THE LATERAL BRACE IS  
TO BE INSTALLED AFTER  
MASONRY REPAIRS AND  
UNDERPINNING IS  
COMPLETED



REVISION	SCHEDULE	DATE	INITIALS
1			
2			
3			
4			
5			

WEST WALL - LATERAL BRACING

90%  
PROGRESS  
SET

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1320 NEW TOWN AVE.  
SUITE 100, NEWPORT NEWS, VA 23606  
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730 THURGOOD SMITH BLVD  
VA BEACH, VA 23502  
(757) 831-8855  
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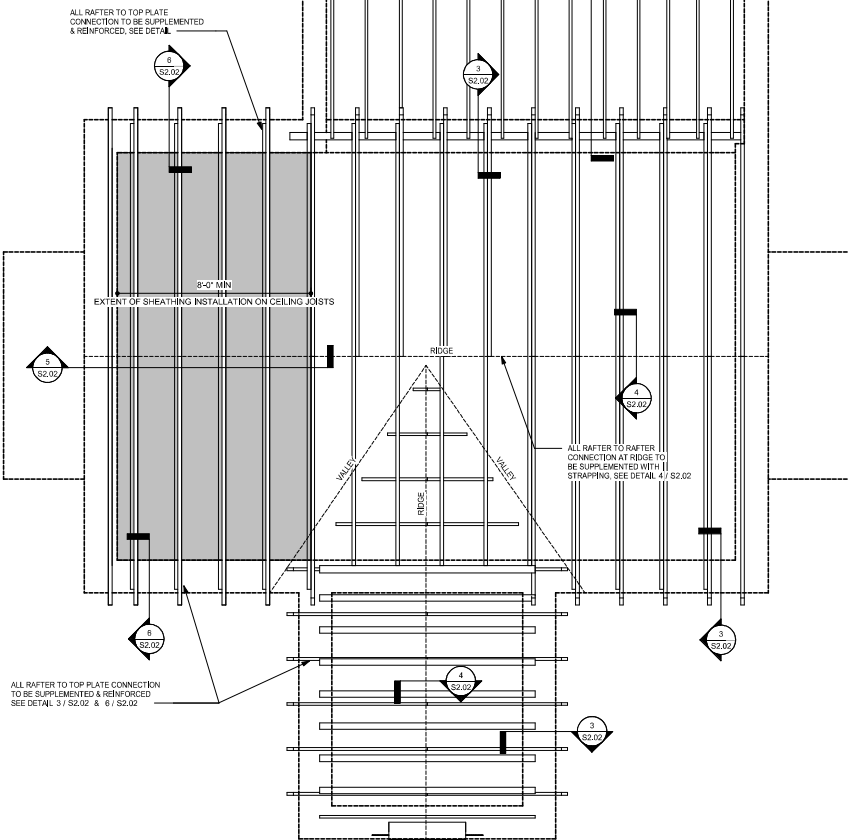
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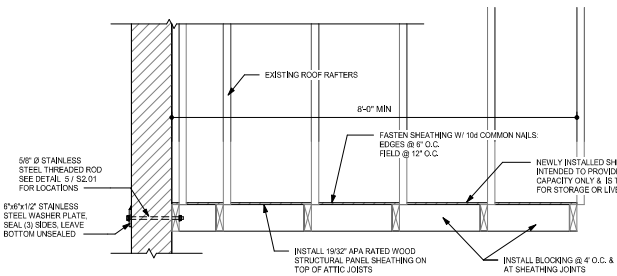
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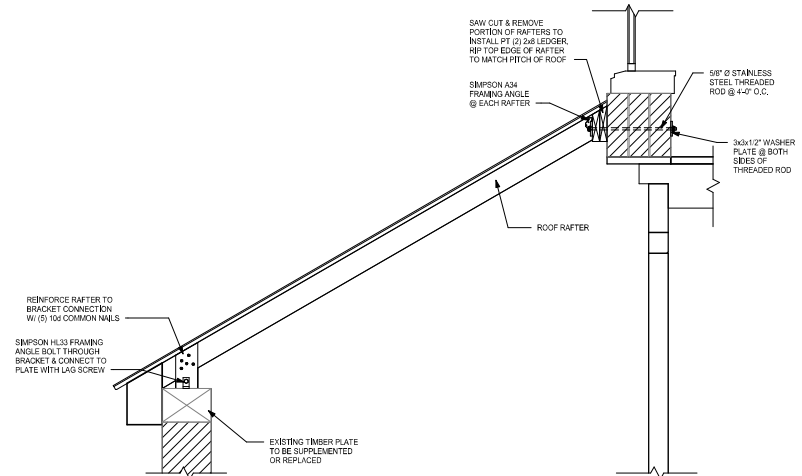
**ALL DIMENSIONS TO BE  
VERIFIED IN THE FIELD  
PRIOR TO FABRICATION**



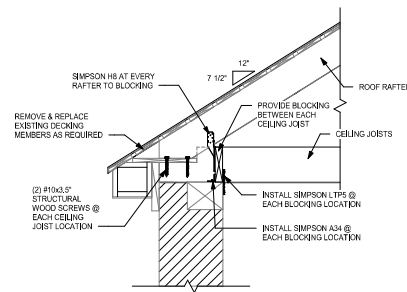
1 ROOF FRAMING PLAN  
S2.02 3/8" = 1'-0"



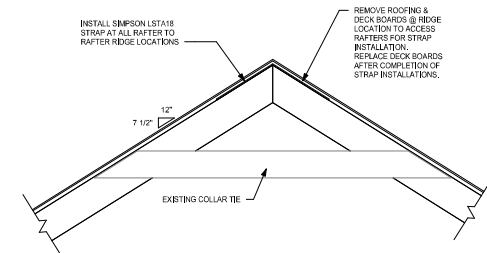
5 BRACING @ WEST GABLE END ROOF LEVEL.



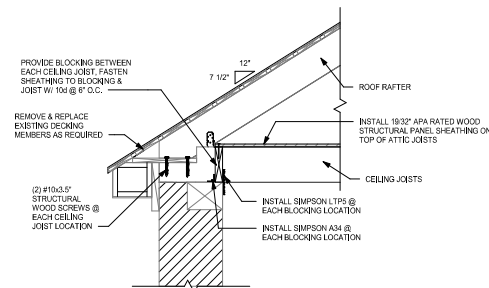
2 SHED ROOF SECTION  
S2.02 1" = 1'-0"



3 MAIN ROOF BEARING SECTION  
82.02 1" = 1'-0"



4 MAIN ROOF RIDGE SECTION  
82.02 1" = 1'-0"



6 MAIN ROOF BEARING SECTION AT WEST GABLE END  
S2.02 1" = 1'-0"

[illegible]

## ROOF FRAMING PLAN & DETAILS

90%  
PROGRESS  
SET

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HILLIAMSBURG, VIRGINIA 23186  
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720 THIMBLE SHOALS BLVD  
MOUNTAIN VIEW, VA 23006  
(757) 874-8858  
[www.TAMConsultants.com](http://www.TAMConsultants.com)

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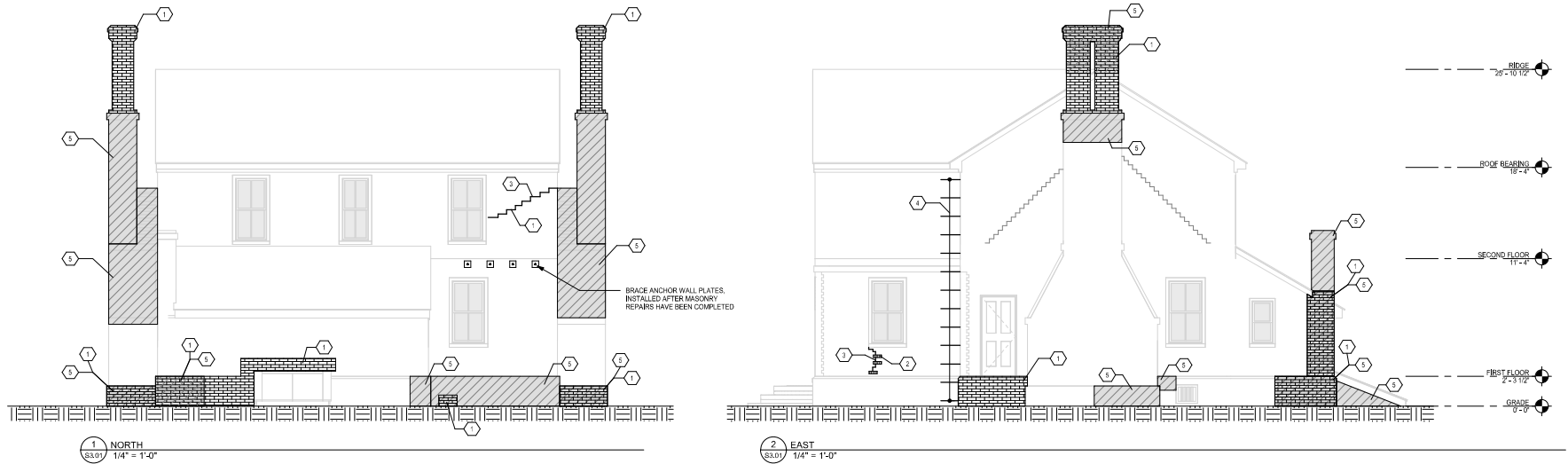
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Drawn: MJL    Checked: TPJ

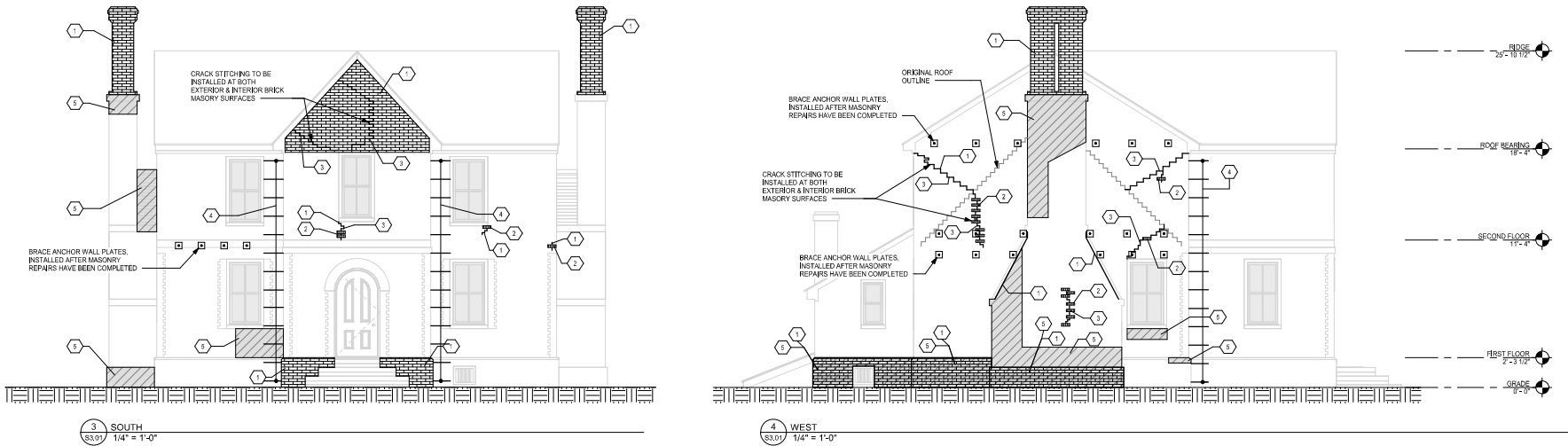
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## S2.02

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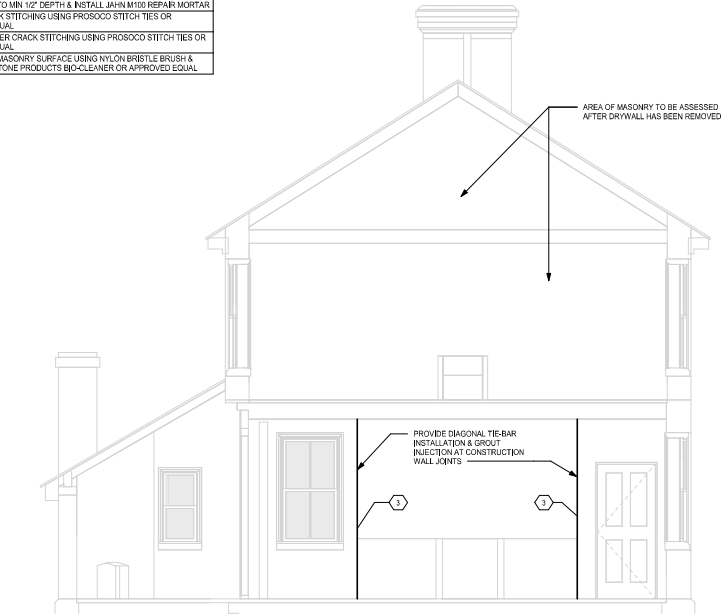


SCOPE OF WORK	
1	REMOVE & REPOINT EXISTING MORTAR JOINTS WITH JAHN M110 JB HISTORIC BRICK POINTING MORTAR OR APPROVED EQUAL
2	ROUT CRACK TO MIN 1/2" DEPTH & INSTALL JAHN M110 REPAIR MORTAR
3	INSTALL CRACK STITCHING USING PROSODO STITCH TIES OR APPROVED EQUAL
4	INSTALL CORNER CRACK STITCHING USING PROSODO STITCH TIES OR APPROVED EQUAL
5	CLEAN BRICK MASONRY SURFACE USING NYLON BRISTLE BRUSH & CATHEDRAL STONE PRODUCTS BRQ-CLEANER OR APPROVED EQUAL

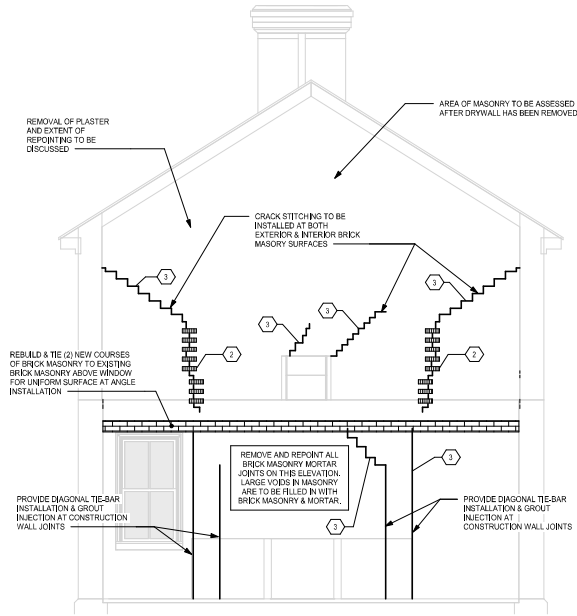


REVISION SCHEDULE	
REVISION	DATE
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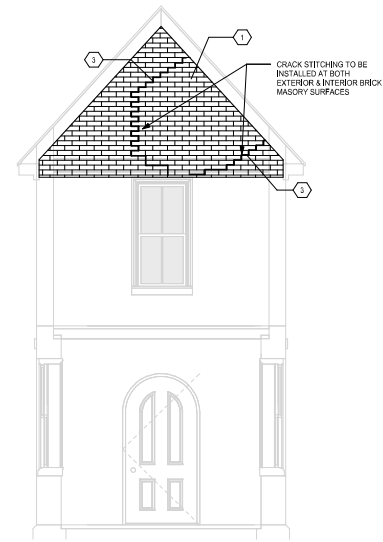
SCOPE OF WORK	
1	REMOVE & REPOINT EXISTING MORTAR JOINTS WITH JAHN M110 JB HISTORIC BRICK POINTING MORTAR OR APPROVED EQUAL
2	ROUT CRACK TO MIN 1/2" DEPTH & INSTALL JAHN M100 REPAIR MORTAR
3	INSTALL CRACK STITCHING USING PROSOCCO STITCH TIES OR APPROVED EQUAL
4	INSTALL CORNER CRACK STITCHING USING PROSOCCO STITCH TIES OR APPROVED EQUAL
5	CLEAN BRICK MASONRY SURFACE USING NYLON BRISTLE BRUSH & CATHEDRAL STONE PRODUCTS BIO-CLEANER OR APPROVED EQUAL



1 EAST WALL - INTERIOR  
S3.02 3/8" = 1'-0"



2 WEST WALL - INTERIOR  
S3.02 3/8" = 1'-0"



3 SOUTH WALL - INTERIOR  
S3.02 3/8" = 1'-0"

REVISION SCHEDULE		DATE	INITIALS
1	DESCRIPTION		
2			
3			
4			
5			
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10			

INTERIOR ELEVATIONS

90%  
PROGRESS  
SET

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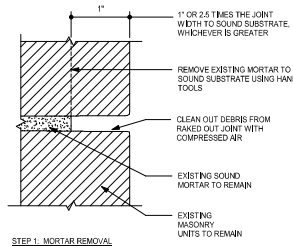
720 THURGOOD SHELLEY BUILDING  
NEWPORT NEWS, VA 23606  
(757) 837-0955

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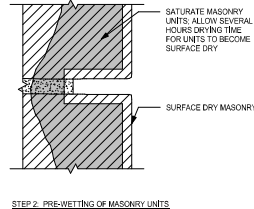
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Project: MB246004

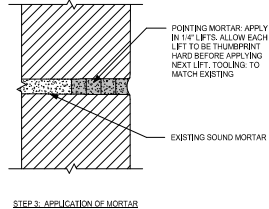
S3.02



STEP 1: MORTAR REMOVAL



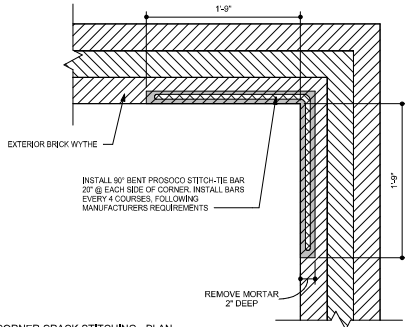
STEP 2: PRE-WETTING OF MASONRY UNITS



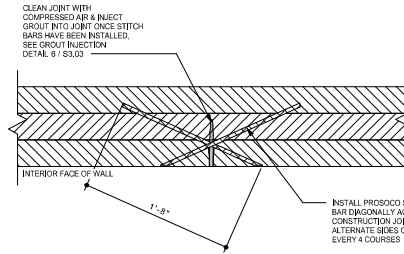
STEP 3: APPLICATION OF MORTAR

**1 BRICK AND MASONRY REPOINTING BY HAND RAKE**  
S3.03/ 12" = 1'-0"

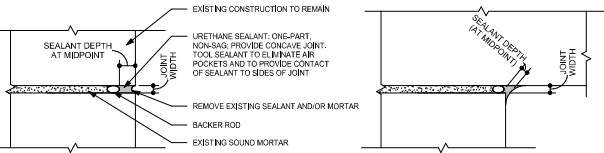
**2 CRACKED BRICK MASONRY REPAIRS**  
S3.03/ 3" = 1'-0"



**4 CORNER CRACK STITCHING - PLAN**  
S3.03/ 1 1/2" = 1'-0"



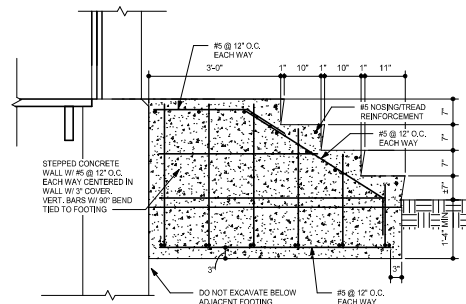
**5 DIAGONAL TIE BAR INSTALLATION - SECTION PLAN**  
S3.03/ 1 1/2" = 1'-0"



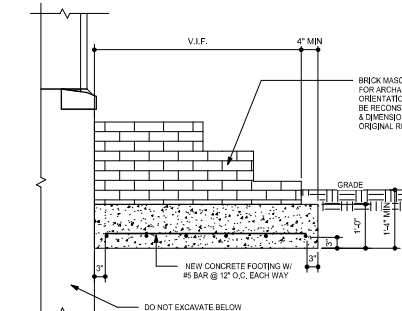
SEALANT DEPTH & BACKER ROD DIAMETER SHALL BE BASED ON THE FOLLOWING TABLE:

JOINT WIDTH	1/4"	3/8"	1/2"	5/8"	3/4"	7/8"	1 1/4"	1 1/2"
SEALANT DEPTH	1/4"	1/4"	1/4"	1/4" - 3/8"	3/8" - 1/2"	3/8" - 1/2"	1/2"	1/2"
BACKER ROD DIAMETER	3/8"	1/2"	5/8"	3/4"	1 1/4"	1 1/4"	1 1/2"	2"

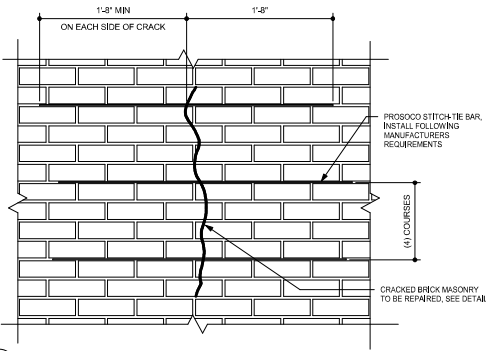
**7 SEALANT REPLACEMENT**  
S3.03/ 3" = 1'-0"



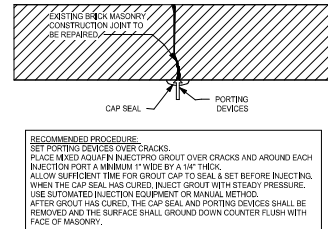
**8 CONCRETE STAIR SECTION**  
S3.03/ 3/4" = 1'-0"




**9 FRONT ENTRY STAIR FOUNDATION SECTION**  
S3.03/ 3/4" = 1'-0"



**3 CRACK STITCHING**  
S3.03/ 1 1/2" = 1'-0"



**6 GROUT INJECTION AT CONSTRUCTION WALL JOINTS**  
S3.03/ 3/4" = 1'-0"



**GuernseyTingle**  
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guernseytingle.com

**JBLE MATTHEW JONES HOUSE**

OWNER  
JONT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

REVISION SCHEDULE		DATE	INITIALS
1	DESCRIPTION		

MASONRY & CONCRETE DETAILS

90% PROGRESS SET

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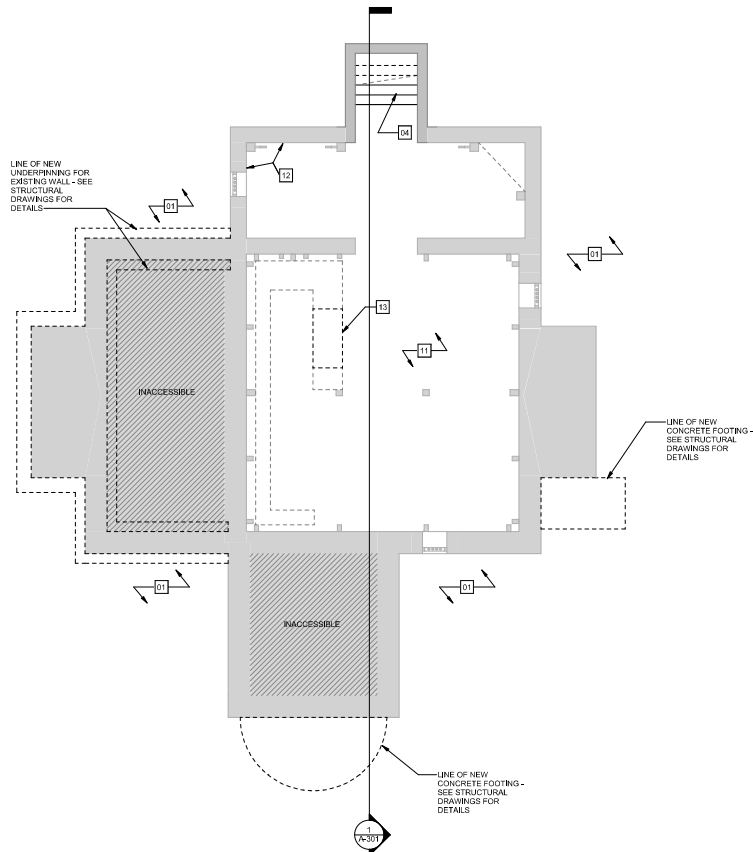
In Development

Date: 3/12/25  
Drawn: MJL Checked: TPJ  
Project: MB246004

S3.03



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**BASEMENT PLAN**  
1/4" = 1' - 0"

#### FLOOR PLAN GENERAL NOTES

- CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAN AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
- CONTRACTOR AND OWNER TO COORDINATE ON THE REMOVAL AND PROPER OFF-SITE STORAGE OF ALL ITEMS FROM THE JOB SITE.
- ALL ARCHAEOLOGICAL WORK SHALL BE COORDINATED WITH THE PROJECT MANAGER.

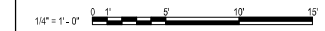
#### FLOOR PLAN KEYNOTES

- REMOVE AND REPLACE EXISTING FOUNDATION DRAINAGE SYSTEM, AND SEAL PENETRATION FOR WATER LINE IN CELLAR, FOLLOWING THE REMOVAL OF THE EXISTING SYSTEM. ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AROUND THE BUILDING PERIMETER, FOLLOWING THE COMPLETION OF ARCHAEOLOGY.
- INSTALL NEW FRENCH DRAIN AND CONNECT NEW SYSTEM TO CLEAR OUTLET. WHERE EXISTING FLOOR BOARDS ARE DETERIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONGLEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- REMOVE ALL DAMAGED OR MOLDY DRYWALL, AND PLASTER.
- REMOVE EXISTING CELLAR STAIR, FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.
- REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY, FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING.
- REMOVE EXISTING WOOD STAIRS AT EAST ENTRY, FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- REPAIR RUPTURED PLUMBING THAT SERVES SECOND FLOOR BATH.
- RESTORE MISSING ELEMENTS OF FIRST-FLOOR FIREBOX OF WEST CHIMNEY USING 19TH-CENTURY FIREBRICKS.
- REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAKFAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- SAW-CUT AND REMOVE MARCH OF BASEMENT FLOOR SLAB, REPLACING WITH GRAVEL.
- REMOVE PARKING IN THE NORTHWEST BASEMENT CORNER.
- REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REMOVE AND REPLACE EXISTING CARRIER FBMA DIRECT-EXPANSION FAN COIL UNIT IN BASEMENT AND EXISTING DUCANE HP16830PA UNITS TO THE SOUTHEAST OF THE FRONT ENTRY. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL, FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- CLEAR DEBRIS FROM EXISTING FLOOR SIFT VENTS, WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSET.

#### TRUE NORTH



#### GRAPHIC SCALE(S)



## JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

REVISION SCHEDULE		DATE	DETAILS
A	DESCRIPTION		

## BASEMENT PLAN

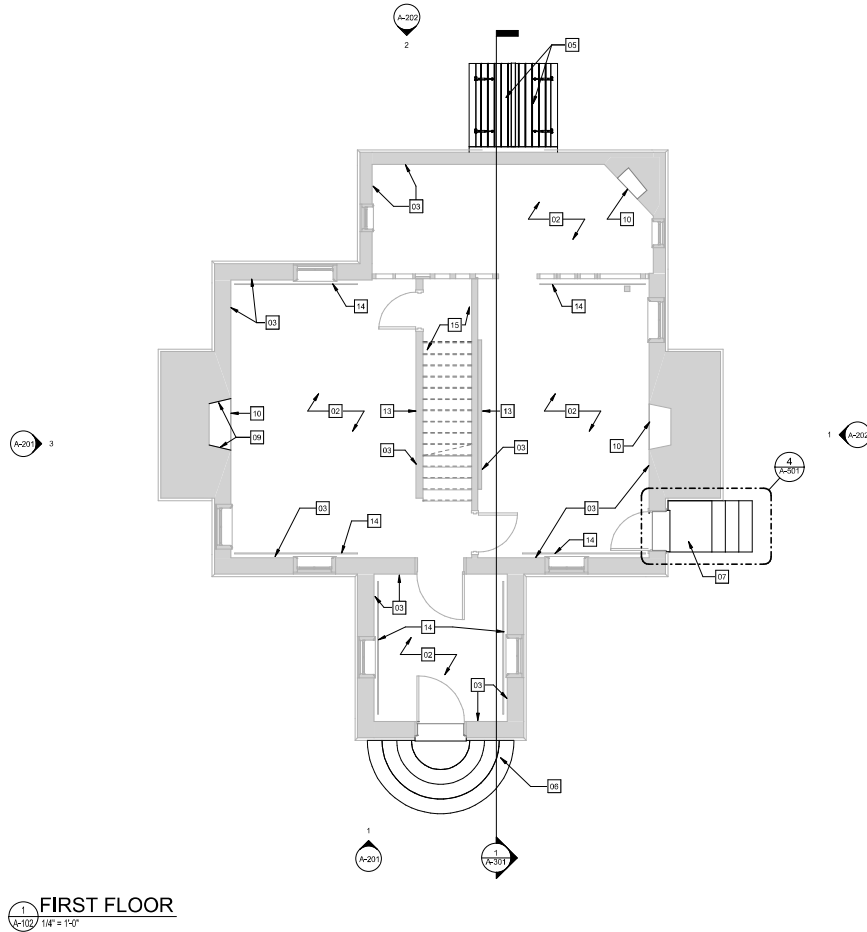
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PROGRESS  
SET

NOT FOR  
CONSTRUCTION

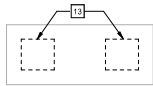
Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

A-101

Plotted on: 4/7/2025 12:54:47 PM



1 FIRST FLOOR  
A-102 1/4" = 1'-0"



#### FLOOR PLAN GENERAL NOTES

- CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAN AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
- CONTRACTOR AND OWNER TO COORDINATE ON THE REMOVAL AND PROPER OFF-SITE STORAGE OF ALL ITEMS FROM THE JOB SITE.
- ALL ARCHAEOLOGICAL WORK SHALL BE COORDINATED WITH THE PROJECT MANAGER.

#### FLOOR PLAN KEYNOTES

- REMOVE AND REPLACE EXISTING FOUNDATION DRAINAGE SYSTEM, AND SEAL PENETRATION FOR WATER LINE IN CELLAR, FOLLOWING THE REMOVAL OF THE EXISTING SYSTEM. ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AROUND THE BUILDING PERIMETER, FOLLOWING THE COMPLETION OF ARCHAEOLOGY. INSTALL NEW FRENCH DRAIN AND CONNECT NEW SYSTEM TO CLEAR OUTLET. WHERE EXISTING FLOOR BOARDS ARE DETEROIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONGLEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- REMOVE ALL DAMAGED OR MOLDY DRYWALL, AND PLASTER.
- REMOVE EXISTING CELLAR STAIR, FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.
- REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY, FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING.
- REMOVE EXISTING WOOD STAIRS AT EAST ENTRY, FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND. REPAIR RUPTURED PLUMBING THAT SERVES SECOND FLOOR BATH.
- RESTORE MISSING ELEMENTS OF FIRST-FLOOR FIREBOX OF WEST CHIMNEY USING 19TH-CENTURY FIREBRICKS.
- REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAKFAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- SAW-CUT AND REMOVE MARCH OF BASEMENT FLOOR SLAB, REPLACING WITH GRAVEL.
- REMOVE PARKING IN THE NORTHWEST BASEMENT CORNER.
- REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REMOVE AND REPLACE EXISTING CARRIER FBMA DIRECT-EXPANSION FAN COIL UNIT IN BASEMENT AND EXISTING DUCANE HP16830PA UNITS TO THE SOUTHEAST OF THE FRONT ENTRY. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL, FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- CLEAR DEBRIS FROM EXISTING FLOOR SUE VENTS, WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSET.

#### TRUE NORTH



#### GRAPHIC SCALE(S)



REVISION SCHEDULE		DATE	NOTES
1	DESIGN		
2	CONSTRUCTION		
3			
4			

#### FIRST FLOOR PLAN

90%  
PROGRESS  
SET

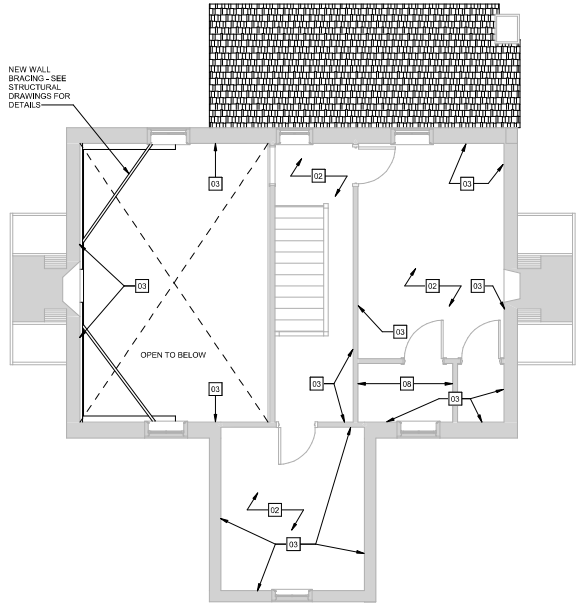
NOT FOR  
CONSTRUCTION

Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

A-102

Plotted on: 4/7/2025 12:51:48 PM

1 SECOND FLOOR  
A-103 1/4" = 1'-0"



#### FLOOR PLAN GENERAL NOTES

- A. CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAN AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
- B. CONTRACTOR AND OWNER TO COORDINATE ON THE REMOVAL AND PROPER OFF-SITE STORAGE OF ALL ITEMS FROM THE JOB SITE.
- C. ALL ARCHAEOLOGICAL WORK SHALL BE COORDINATED WITH THE PROJECT MANAGER.

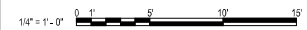
#### FLOOR PLAN KEYNOTES

- 01 REMOVE AND REPLACE EXISTING FOUNDATION DRAINAGE SYSTEM, AND SEAL PENETRATION FOR WATER LINE IN CELLAR, FOLLOWING THE REMOVAL OF THE EXISTING SYSTEM. ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AROUND THE BUILDING PERIMETER, FOLLOWING THE COMPLETION OF ARCHAEOLOGY. INSTALL NEW FRENCH DRAIN AND CONNECT NEW SYSTEM TO CLEAR OUTLET. WHERE EXISTING FLOOR BOARDS ARE DETEROIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONGLEAF SOUTHERN YELLOW PINE, REPLACEMENT ELEMENTS TO MATCH EXISTING LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- 02 REMOVE ALL DAMAGED OR MOLDY DRYWALL, AND PLASTER.
- 03 REMOVE EXISTING CELLAR STAIR, FURNISH NEW CELLAR STAIR FROM ACCOYA, NEW STAIR ELEMENT TO MATCH EXISTING.
- 04 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY, FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 05 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING.
- 06 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY, FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 07 REPAIR RUPTURED PLUMBING THAT SERVES SECOND FLOOR BATH.
- 08 RESTORE MISSING ELEMENTS OF FIRST-FLOOR FIREBOX OF WEST CHIMNEY USING 19TH-CENTURY FIREBRICKS.
- 09 REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAKFAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- 10 SAW-CUT AND REMOVE MARCH OF BASEMENT FLOOR SLAB, REPLACING WITH GRAVEL.
- 11 REMOVE PARKING IN THE NORTHWEST BASEMENT CORNER.
- 12 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REMOVE AND REPLACE EXISTING CARRIER FBAN DIRECT-EXPANSION FAN COIL UNIT IN BASEMENT AND EXISTING DUANE HP16830PA UNITS TO THE SOUTHEAST OF THE FRONT ENTRY. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL, FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- 14 CLEAR DEBRIS FROM EXISTING FLOOR SUE VENTS, WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- 15 COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSET.

#### TRUE NORTH



#### GRAPHIC SCALE(S)



JBLE MATTHEW JONES HOUSE

SECOND FLOOR PLAN  
90%  
PROGRESS  
SET

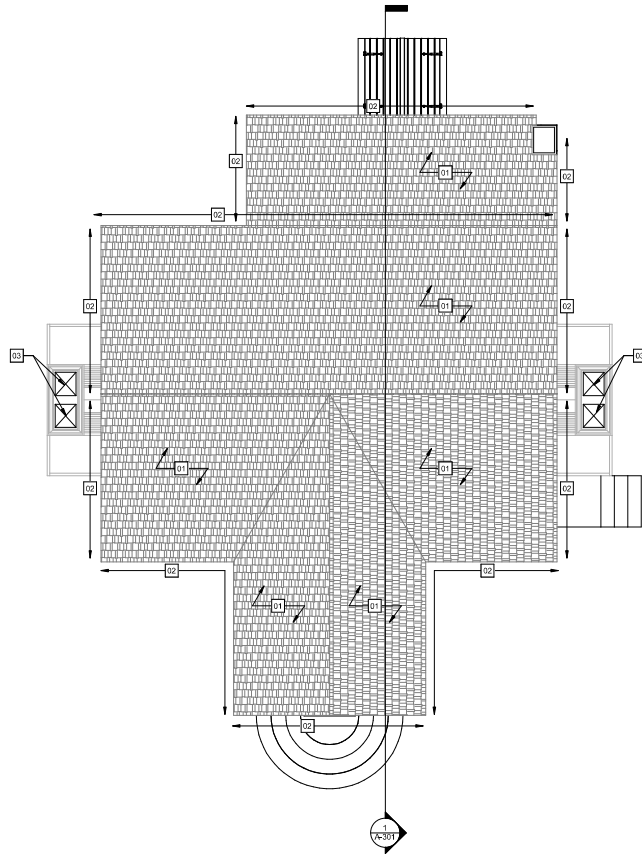
NOT FOR  
CONSTRUCTION

Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

A-103

Plotted on: 4/7/2025 12:51:48 PM

1  
A-111  
ROOF PLAN  
1/4" = 1'-0"



ROOF PLAN KEYNOTES

01

REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DECKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR BREATHER AND VAPORSHIELD UNDERLAYMENT. INSTALL NEW SHINGLE SYSTEM. NEW SHINGLES ARE TO BE ALASKAN YELLOW CEDAR, SQUARE BUTT, 3" TO 5" WIDE BY 18" LONG BY 5/8" TO 3/4" THICK AT THE BUTT, SECURED WITH STAINLESS STEEL PINE-SHANK NAILS TO DISPLAY A 9" EXPOSURE. RENEW ALL FLASHINGS IN LEAD, SECURED WITH LEAD WOOL. PROVIDE NEW COPPER DRIP EDGES AT RAKES AND EAVES, AND PROVIDE NEW COPPER GUTTERS AND RAIN LEADERS.

02

REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.

03

FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY.

TRUE NORTH

GRAPHIC SCALE(S)

1/4" = 1' - 0"

Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

A-111

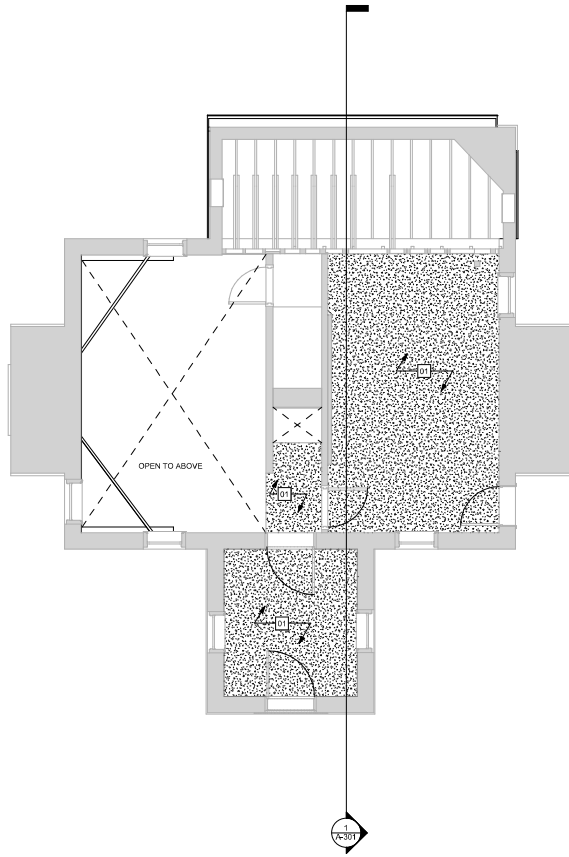
ROOF PLAN  
90%  
PROGRESS  
SET

NOT FOR  
CONSTRUCTION

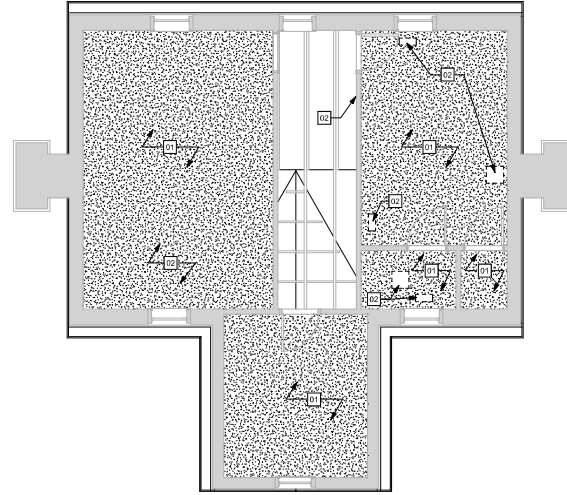
REVISION SCHEDULE		
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10		

JBLE MATTHEW JONES HOUSE  
JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

Plotted on: 4/7/2025 12:51:49 PM



1 FIRST FLOOR REFLECTED CEILING PLAN  
A-121/ 1/4" = 1'-0"



2 SECOND FLOOR REFLECTED CEILING PLAN  
A-121/ 1/4" = 1'-0"

#### RCP GENERAL NOTES

- COORDINATE CEILING AND ROOF WORK WITH MECHANICAL AND PLUMBING EQUIPMENT.
- ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN ELEMENTS AND INTERIOR TRIM TO REMAIN.

#### RCP LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- GYPSUM BOARD CEILING

#### RCP KEYNOTES

- REMOVE AND REPLACE EXISTING DAMAGED DRYWALL CEILINGS. REINSTALL PREVIOUSLY REMOVED DRYWALL CEILINGS WHERE INDICATED. PROVIDE INSULATION. COORDINATE FIRE DETECTION SYSTEMS AND LIGHTING IN THE WEST ROOM.
- REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.

#### TRUE NORTH



#### GRAPHIC SCALE(S)

1/8" = 1' - 0"

REVISION SCHEDULE		DATE	INITIALS
1	DESCRIPTION		
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#### REFLECTED CEILING PLANS

90%  
PROGRESS  
SET

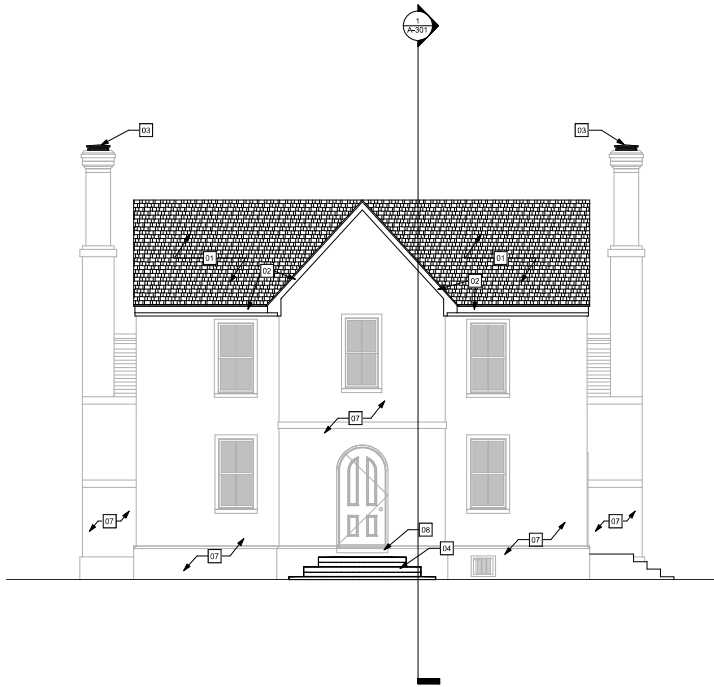
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CONSTRUCTION

Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

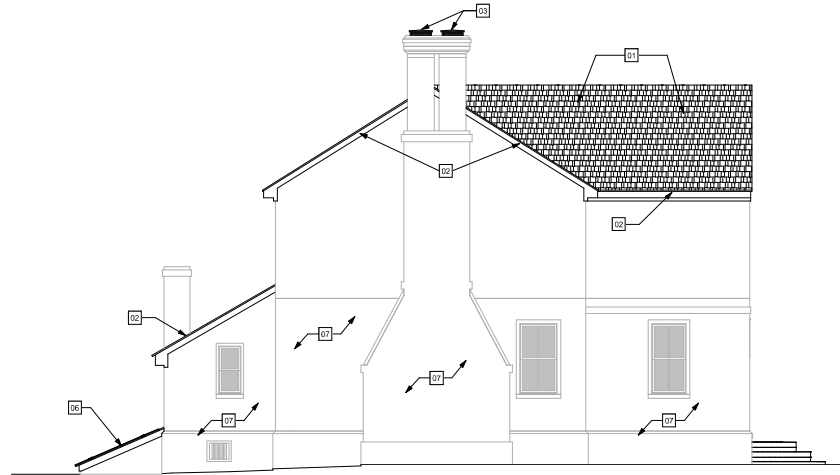
A-121



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1  
A-201  
NEW WORK - SOUTH ELEVATION  
1/4" = 1'-0"

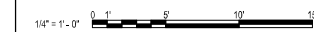


3  
A-201  
NEW WORK - WEST ELEVATION  
1/4" = 1'-0"

#### ELEVATION KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DICKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR TRIM, FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 03 FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY CAP.
- 04 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING.
- 05 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY, FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 06 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 07 COMPLETE MASONRY WORK AS IDENTIFIED IN STRUCTURAL DRAWINGS.
- 08 REPAIR EXTERIOR DOOR SILL AT FRONT TOWER. PLUG HOLES IN THE FRONT FACE AND FILL WITH FLEXIBLE EPOXY.
- 09 REPLACE EXTERIOR DOOR SILL TO MATCH EXISTING IN KIND. NEW DOOR SILL ELEMENT TO BE RECLAIMED LONGLEAF SOUTHERN YELLOW PINE, TREATED.

#### GRAPHIC SCALE(S)



REVISION SCHEDULE		
REVISION	DATE	DETAILS
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SOUTH AND WEST ELEVATIONS

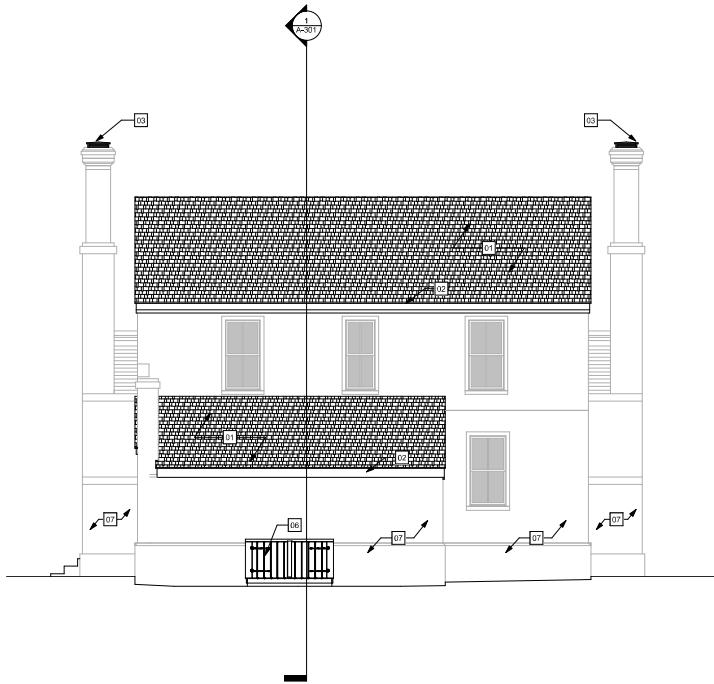
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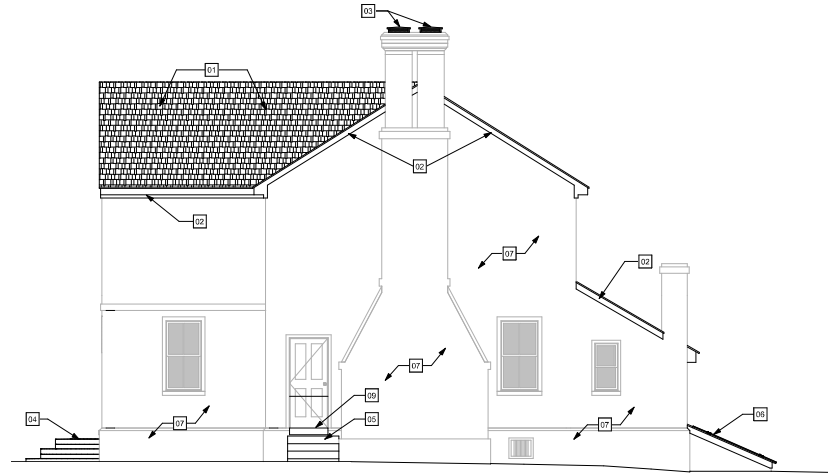
Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

A-201

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2  
A-202  
NEW WORK - NORTH ELEVATION  
1/4" = 1'-0"

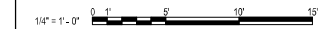


1  
A-202  
NEW WORK - EAST ELEVATION  
1/4" = 1'-0"

#### ELEVATION KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DICKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD BECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR TRIM, FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 03 FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY CAP.
- 04 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING.
- 05 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 06 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 07 COMPLETE MASONRY WORK AS IDENTIFIED IN STRUCTURAL DRAWINGS.
- 08 REPAIR EXTERIOR DOOR SILL AT FRONT TOWER. PLUG HOLES IN THE FRONT FACE AND FILL WITH FLEXIBLE EPOXY.
- 09 REPLACE EXTERIOR DOOR SILL TO MATCH EXISTING IN KIND. NEW DOOR SILL ELEMENT TO BE RECLAIMED LONGLEAF SOUTHERN YELLOW PINE, TREATED.

#### GRAPHIC SCALE(S)



REVISION SCHEDULE	
DESCRIPTION	DATE

NORTH AND EAST  
ELEVATIONS

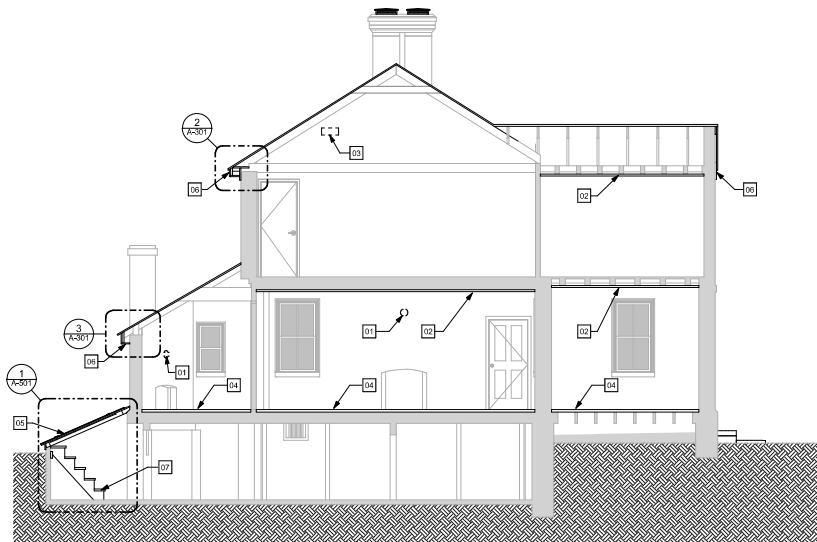
90%  
PROGRESS  
SET

NOT FOR  
CONSTRUCTION

Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

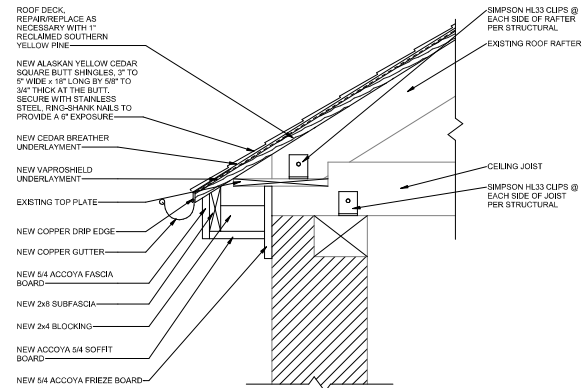
A-202

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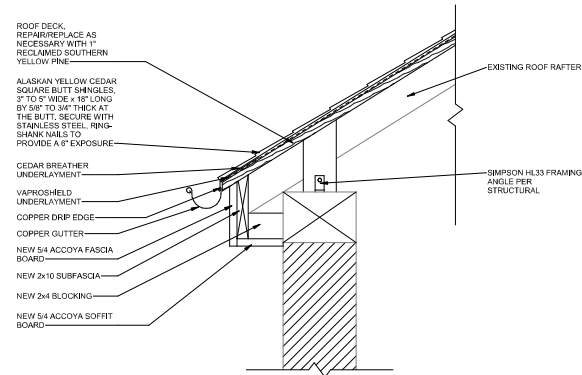
**BUILDING SECTION**

1  
A-301  
1/4" = 1'-0"



**MAIN ROOF EAVE DETAIL**

2  
A-301  
1 1/2" = 1'-0"



**SHED ROOF EAVE DETAIL**

3  
A-301  
1 1/2" = 1'-0"

**SECTION KEYNOTES**

- 01 REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- 02 REMOVE AND REPLACE EXISTING DAMAGED DRYWALL/Ceilings. REINSTALL PREVIOUSLY REMOVED DRYWALL/Ceilings WHERE INDICATED. PROVIDE INSULATION COORDINATE FIRE DETECTION SYSTEMS AND LIGHTING IN THE WEST ROOM.
- 03 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL FOLLOWING THE COMPLETION OF HVAC WORK. RECONNECT SYSTEM WHERE EXISTING FLOOR BOARDS ARE DETERIORATED. REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED LONG-LEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- 04 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 05 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 06 REMOVE EXISTING CELLAR STAIR. FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.
- 07 REMOVE EXISTING CELLAR STAIR. FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.

**GRAPHIC SCALE(S)**



REVISION SCHEDULE			TOTALS
NO.	DATE	DESCRIPTION	
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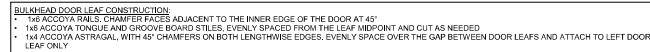
**BUILDING SECTION**

**90%  
PROGRESS  
SET**

**NOT FOR  
CONSTRUCTION**

Date: 3/12/25  
Drawn: JAB Checked: TMC  
Project: Z24085

**A-301**



2 BULKHEAD DOOR TRANSVERSE SECTION  
A-501 1 1/2" = 1'-0"

[illegible]

## DETAILS

90%  
PROGRESS  
SET

NOT FOR  
CONSTRUCTION

Date:	3/12/25
Drawn:	JAB
Checked:	TMC
Project:	224085

A-501