

JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

VICINITY MAP



SITE MAP



GENERAL CONSTRUCTION NOTES

- A. G.C. SHALL INSPECT ALL DRAWINGS IMMEDIATELY UPON RECEIPT & REPORT ANY DISCREPANCIES, CONFLICTS, ERRORS, OR OMISSIONS DISCOVERED. THIS INCLUDES COORDINATION WITH MEP/OTHER TRADES.
- B. G.C. IS RESPONSIBLE FOR ENSURING ALL WORK IS DONE IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS & IN COMPLIANCE WITH ALL BUILDING CODES, ORDINANCES & REGULATIONS OF ALL CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION.
- C. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THESE PLANS & SPECIFICATIONS UNLESS A WRITTEN VARIANCE IS APPROVED BY THE OWNER.
- D. G.C. & ALL SUBCONTRACTORS SHALL VISIT & INSPECT THE PREMISES PRIOR TO SUBMITTING A PROPOSAL. SUBMISSION OF A PROPOSAL CONSTITUTES AN AGREEMENT THAT THE G.C. INCLUDED ALL ITEMS NECESSARY TO ACCOMMODATE THE EXISTING CONDITIONS. ANY CONDITIONS IN CONFLICT WITH THESE DRAWINGS & SPECIFICATIONS SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY UPON DISCOVERY. DESIGNER CANNOT BE HELD RESPONSIBLE FOR ANY HIDDEN CONDITIONS.
- E. G.C. SHALL OBTAIN ALL PERMITS & THE CERTIFICATE OF OCCUPANCY, UNLESS NOTED OTHERWISE.
- F. MATERIALS SHALL BE DELIVERED & STORED IN ORIGINAL, UNOPENED PROTECTIVE PACKAGING. INSPECT LABELS IMMEDIATELY UPON DELIVERY FOR ACCURACY. STORE & INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PREVENT DAMAGE TO MATERIALS & SURROUNDING SURFACES WHEN HANDLING.
- G. G.C. SHALL KEEP A CLEAN & SECURE JOB SITE & TAKE ADEQUATE MEASURES TO PROTECT BUILDING & SITE OCCUPANTS & ITEMS SALVAGED FOR REUSE & IS RESPONSIBLE FOR RETURNING ANY DAMAGED ITEMS TO "LIKE NEW" CONDITION. OCCUPIED/PUBLIC AREAS SHALL BE KEPT CLEAR OF CONSTRUCTION MATERIALS. SECURITY, NOISE, & DUST BARRIERS SHALL BE MAINTAINED BY G.C. BETWEEN AREAS OF CONSTRUCTION & OCCUPIED/PUBLIC AREAS.
- H. G.C. SHALL PERFORM FINAL CLEANING PRIOR TO END USE OCCUPANCY TO INCLUDE: VACUUMING & REMOVAL OF DUST, DEBRIS, OILS, STAINS, FINGERPRINTS, LABELS & WALLCOVERING ADHESIVE.
- I. G.C. IS RESPONSIBLE FOR PROVIDING A COMPLETE & OPERATIONAL SPACE.
- J. WITHIN 30 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE REPRODUCIBLE SCALED AS-BUILTS TO THE OWNER & THE ARCHITECT. THESE AS-BUILTS SHALL REFLECT FINAL FIELD CONDITIONS AT PROJECT COMPLETION.
- K. WITHIN 60 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE THE END USER WRITTEN DOCUMENTATION OF ALL WARRANTIES & RECOMMENDED MAINTENANCE PROCEDURES FOR ALL EQUIPMENT & FINISH MATERIALS.
- L. TO THE BEST OF OUR KNOWLEDGE & INFORMATION, THESE DRAWINGS HAVE BEEN PREPARED IN CONFORMITY WITH ANSI STANDARD A117.1 2009 & ADA TITLE III FOR MAKING BUILDINGS & FACILITIES ACCESSIBLE TO & USABLE BY PERSONS WITH DISABILITIES. ALTERATIONS, EXCEPTIONS & DELETIONS TO THESE RULES BY THE RESIDING JURISDICTION HAVE BEEN ACCOMMODATED TO THE BEST OF OUR KNOWLEDGE.
- M. HOLES & OPENINGS THROUGH WALLS & FLOORS FOR DUCTS, PIPING & VENTILATION SHALL BE CHECKED BY THE CONTRACTOR WHO SHALL VERIFY SIZES & LOCATIONS OF SUCH HOLES OR OPENINGS WITH PLUMBING, HEATING, VENTILATING & ELECTRICAL DRAWINGS & CONTRACTORS.
- N. PENETRATIONS THROUGH FLOOR/CEILING & ROOF/CEILING ASSEMBLIES SHALL BE FIRE RATED NOT LESS THAN THE ASSEMBLY BEING PENETRATED. THE CONTRACTOR SHALL PROVIDE MANUFACTURER TESTED SYSTEMS & DETAILS OR AN ENGINEERED JUDGEMENT FOR EACH TYPE OF PENETRATION REQ TO PERFORM THE WORK.
- O. OMISSIONS: IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED OUT ON THE DRAWINGS OR NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED OUT.
- P. INSTALLATION OF ALL PRODUCTS SHALL BE AS REQUIRED BY THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS AT THE TIME OF PERMITTING.
- Q. CONTROLS & OPERATING MECHANISMS FOR ALL FIXTURES & FURNISHINGS SHALL BE OPERABLE BY A FORCE OF NO GREATER THAN 5 LBF WITH ONE HAND & NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO ACTIVATE CONTROLS.
- R. THE SELECTED CONTRACTOR SHALL SUPPLY ALL MISC. BLOCKING, BRACING, METAL, TRIM, FASTENERS, HARDWARE, ETC AS REQUIRED TO COMPLETE THE WORK HERE-IN.
- S. ALL REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY ADA/ACCESSIBILITY SIGNAGE HAVING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, TO BE INSTALLED IN ACCORDANCE WITH IBC SECTIONS 1011, 1109 & 1110 ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR OR NEAREST ADJACENT WALL. G.C. SHALL PROVIDE & INSTALL SAID SIGNAGE, INCLUDING BUT NOT LIMITED TO: DIRECTIONAL SIGNS, EXIT SIGNS & ACCESSIBLE TOILET FACILITIES.
- T. G.C. SHALL REVIEW SPECIFICATIONS & DRAWINGS & VERIFY LEAD TIMES AT TIME OF BID/PRICING SUBMISSION. FAILURE TO ORDER PRODUCTS IN A TIMELY FASHION SHALL REQUIRE ADHERENCE TO THE SUBSTITUTION REQUIREMENTS DESCRIBED IN THE PROJECT MANUAL.
- U. ITEMS INDICATED AS "SALVAGED" SHALL BE RELOCATED FROM THE EXISTING BUILDING & INSTALLED BY THE CONTRACTOR.
- V. SYSTEMS PROVIDED BY THE OWNER SHALL INCLUDE: DATA, I.T., AV, DOOR ACCESS CONTROLS, & EMERGENCY RESPONSE ALERTING.
- W. G.C. TO PROVIDE REQUIRED FUEL/REFRIGERANT/ELEC./WATER SUPPLY, ROUGH-INS. EXHAUST, INTAKES, DRAINS, ETC. UNDER THE BASE BID FOR ALL EQUIPMENT ITEMS INDICATED IN THE PLANS. THIS SHALL INCLUDE BUT NOT BE LIMITED TO EQUIPMENT & FIXTURES PROCURED & INSTALLED BY THE CONTRACTOR, PROVIDED BY OWNER (WHETHER INSTALLED BY CONTRACTOR OR OWNER).

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GENERAL PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SELECT REPAIRS, REPLACEMENT, AND STRUCTURAL STABILIZATION AT NATIONAL REGISTER OF HISTORIC PLACES (NHRP) SITE 69000342, COMMONLY REFERRED TO AS THE MATTHEW JONES HOUSE. WORK INCLUDES THE CONDITIONAL REPAIR AND REPLACEMENT OF HISTORIC BRICK MASONRY AND ASSOCIATED GROUT, WOOD ELEMENTS, AND METAL HARDWARE, AS WELL AS THE INSTALLATION OF NEW STRUCTURAL ELEMENTS TO STABILIZE AND MAINTAIN THE STRUCTURE.

AS THE BUILDING IS ON THE NATIONAL REGISTER OF HISTORIC PLACES, ALL WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING, AND RECONSTRUCTING HISTORIC BUILDINGS, AS WELL AS WITH THE STANDARDS OUTLINED IN PRESERVATION BRIEF NO. 2: REPOINTING MASONRY JOINTS IN HISTORIC MASONRY BUILDING.

PROJECT TEAM

ARCHITECT
GUERNSEYTINGLE
4350 NEW TOWN AVENUE, SUITE 101
WILLIAMSBURG, VIRGINIA 23188
757-220-0220

STRUCTURAL ENGINEER
TAM CONSULTANTS
4350 NEW TOWN AVENUE, SUITE 203
WILLIAMSBURG, VIRGINIA 23188
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REVISION SCHEDULE		
#	DESCRIPTION	DATE

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TITLE SHEET

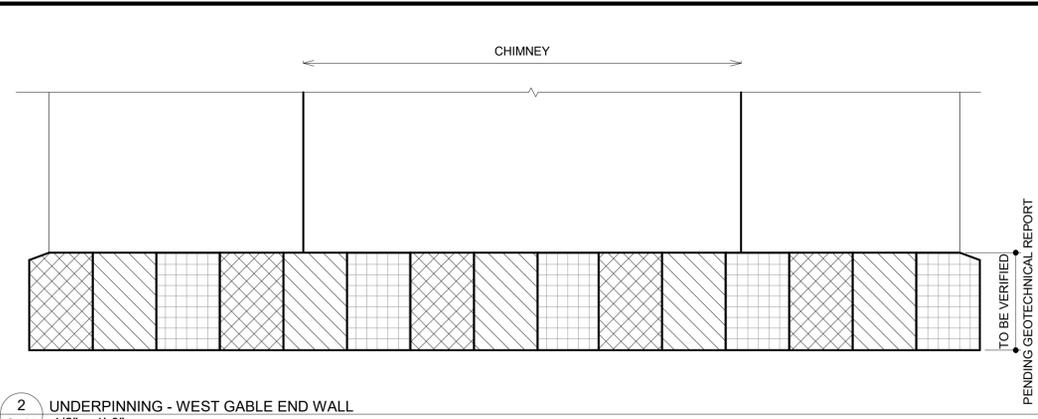
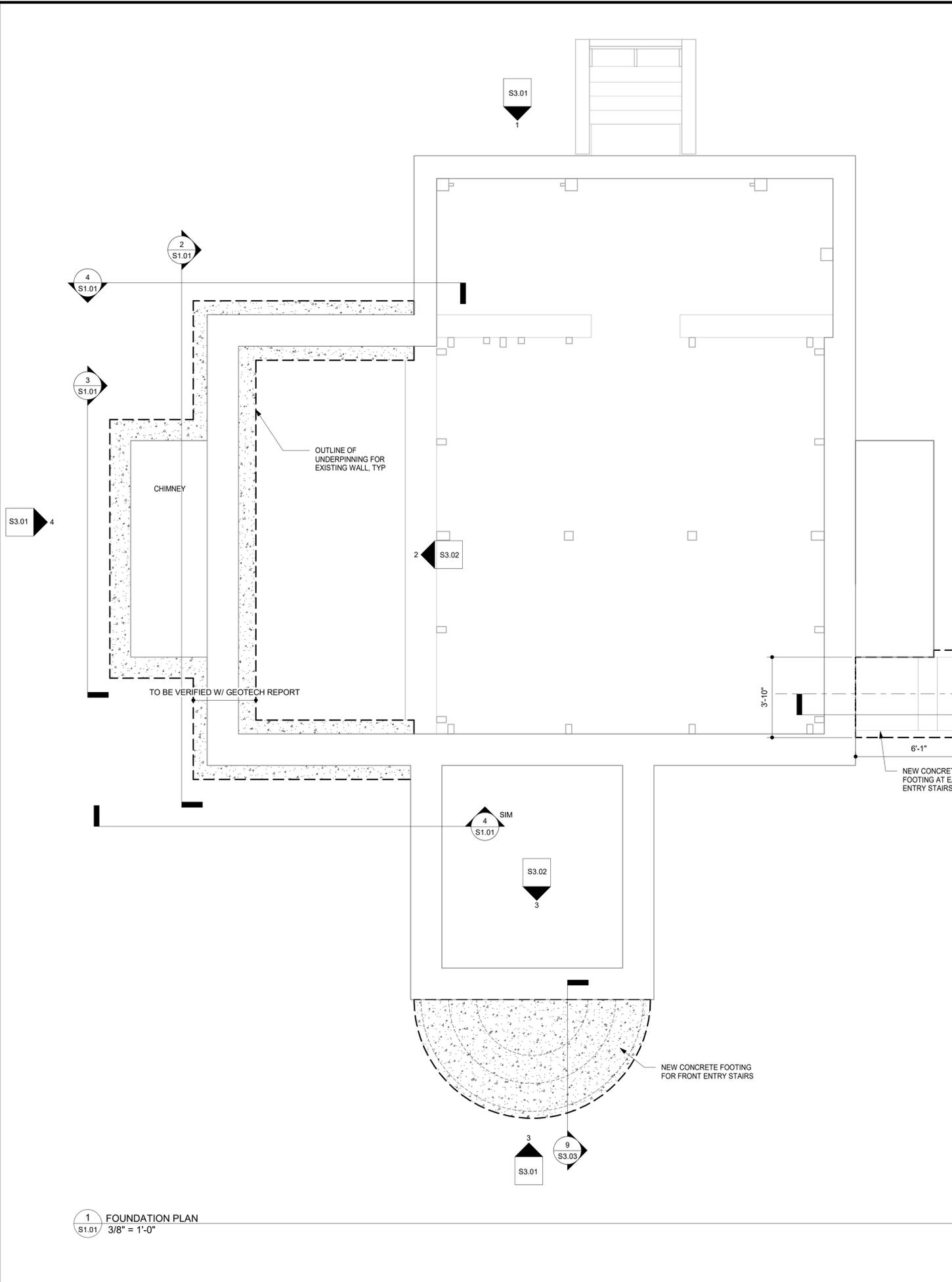
100% DESIGN SUBMISSION



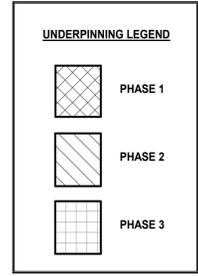
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Drawn: JAB Checked: TMC
Project: 224085

G-101

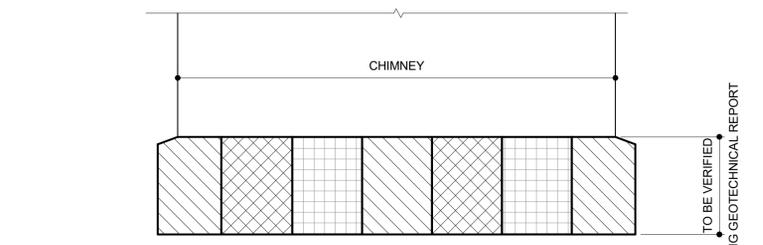
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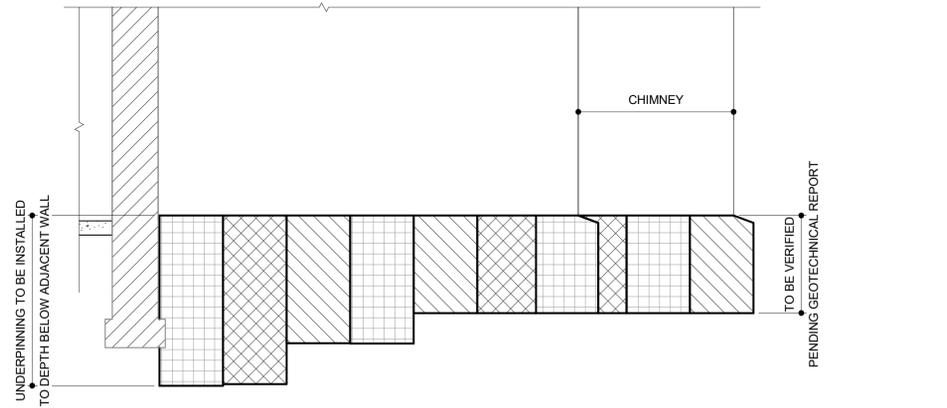
2 UNDERPINNING - WEST GABLE END WALL
1/2" = 1'-0"



- UNDERPINNING NOTES:**
- UNDERPINNING SHALL BE PERFORMED IN AT LEAST THREE (3) PHASES TO PREVENT UNDERMINING OF THE EXISTING STRUCTURE.
 - 2 FT WIDE PITS SHALL BE EXCAVATED TO ALLOW INSTALLATION OF THE CONCRETE FOR UNDERPINNING. LEAVE AT LEAST 4 FT OR TWO (2) TIMES THE DEPTH OF EXCAVATION OF UNDISTURBED SOIL BETWEEN ANY TWO OPEN PITS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SUPPORTS, ETC. AS REQUIRED TO SAFELY MAINTAIN THE EXCAVATION DURING THE WORK.
 - DRY-PACK 2,000 PSI MINIMUM STRENGTH NON-SHRINK GROUT INTO THE GAP BETWEEN THE TOP OF THE CONCRETE AND THE BOTTOM OF THE EXISTING WALL. CLEAN THE EXISTING SURFACES BEFORE PACKING GROUT.



3 UNDERPINNING - WEST CHIMNEY WALL
1/2" = 1'-0"



4 UNDERPINNING - NORTH WALL
1/2" = 1'-0"

1 FOUNDATION PLAN
3/8" = 1'-0"

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FOUNDATION PLAN & DETAILS

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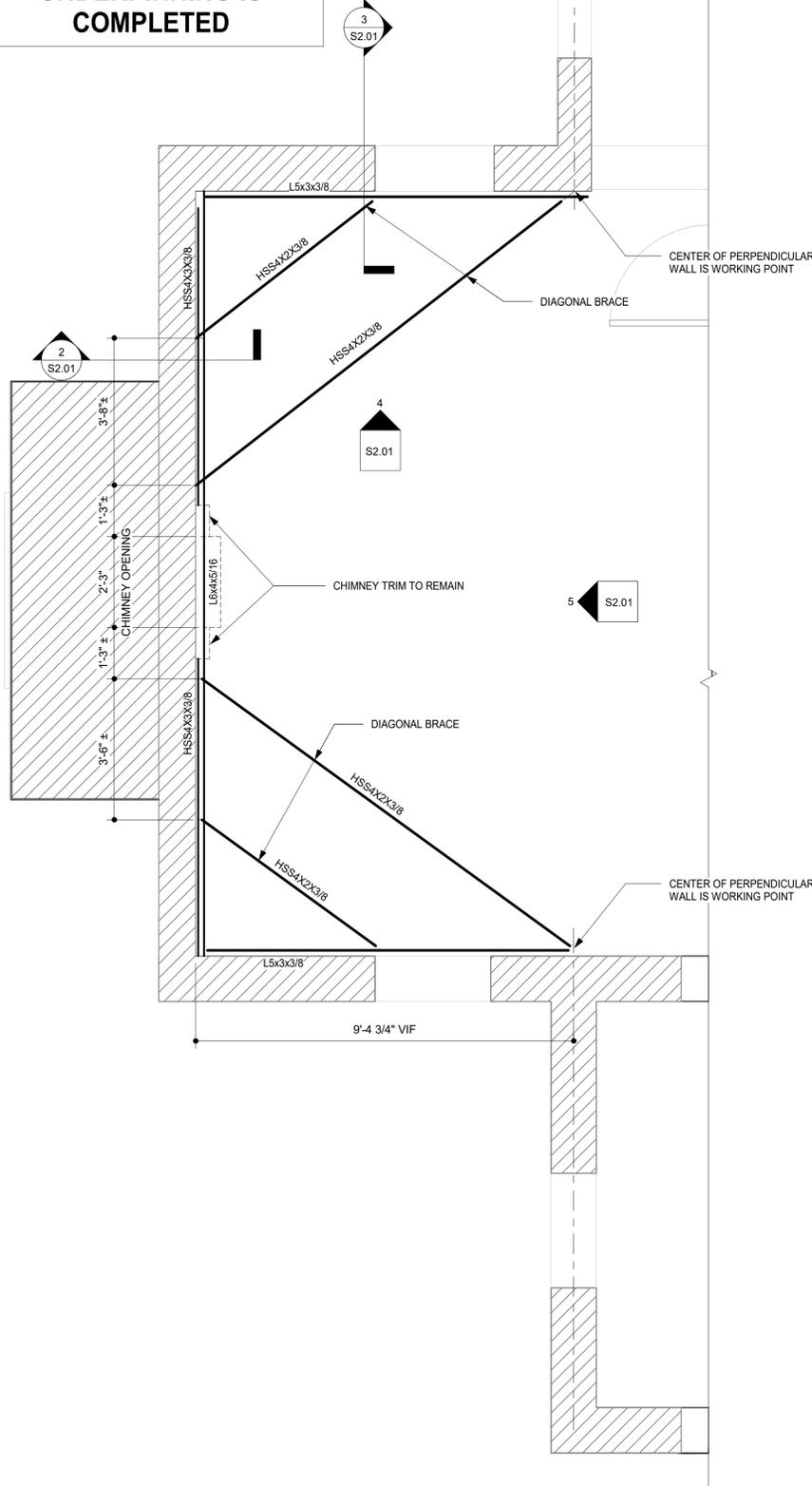


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Project: MB246004

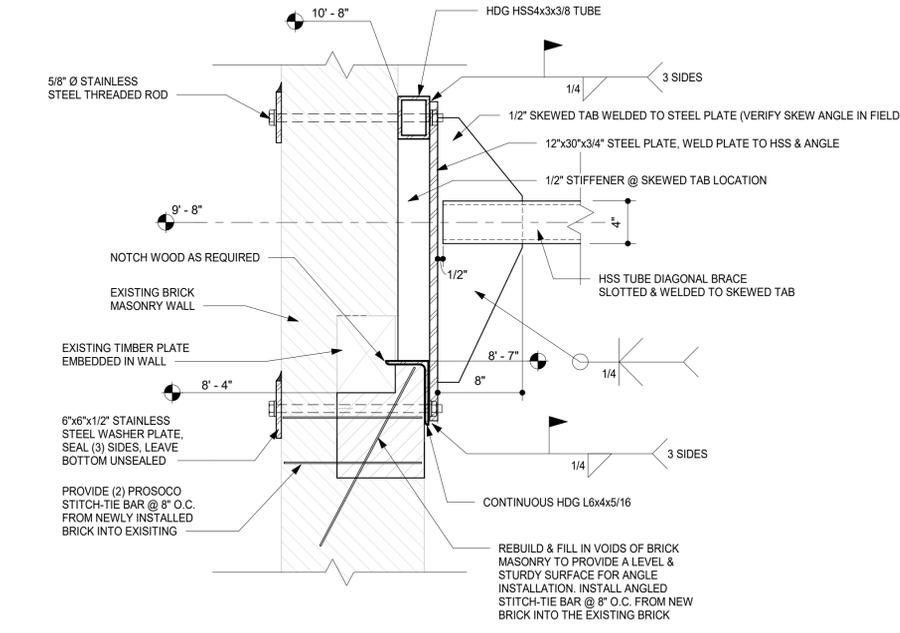
S1.01

ALL DIMENSIONS & GEOMETRY TO BE VERIFIED IN THE FIELD PRIOR TO FABRICATION

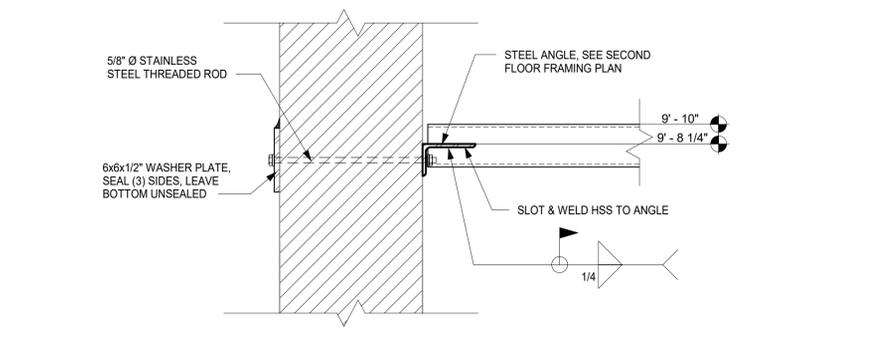
THE LATERAL BRACE IS TO BE INSTALLED AFTER MASONRY REPAIRS AND UNDERPINNING IS COMPLETED



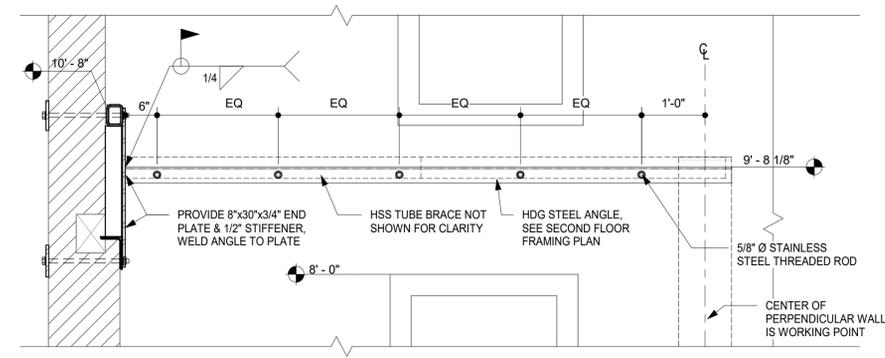
1 SECOND FLOOR FRAMING PLAN
S2.01 1/2" = 1'-0"



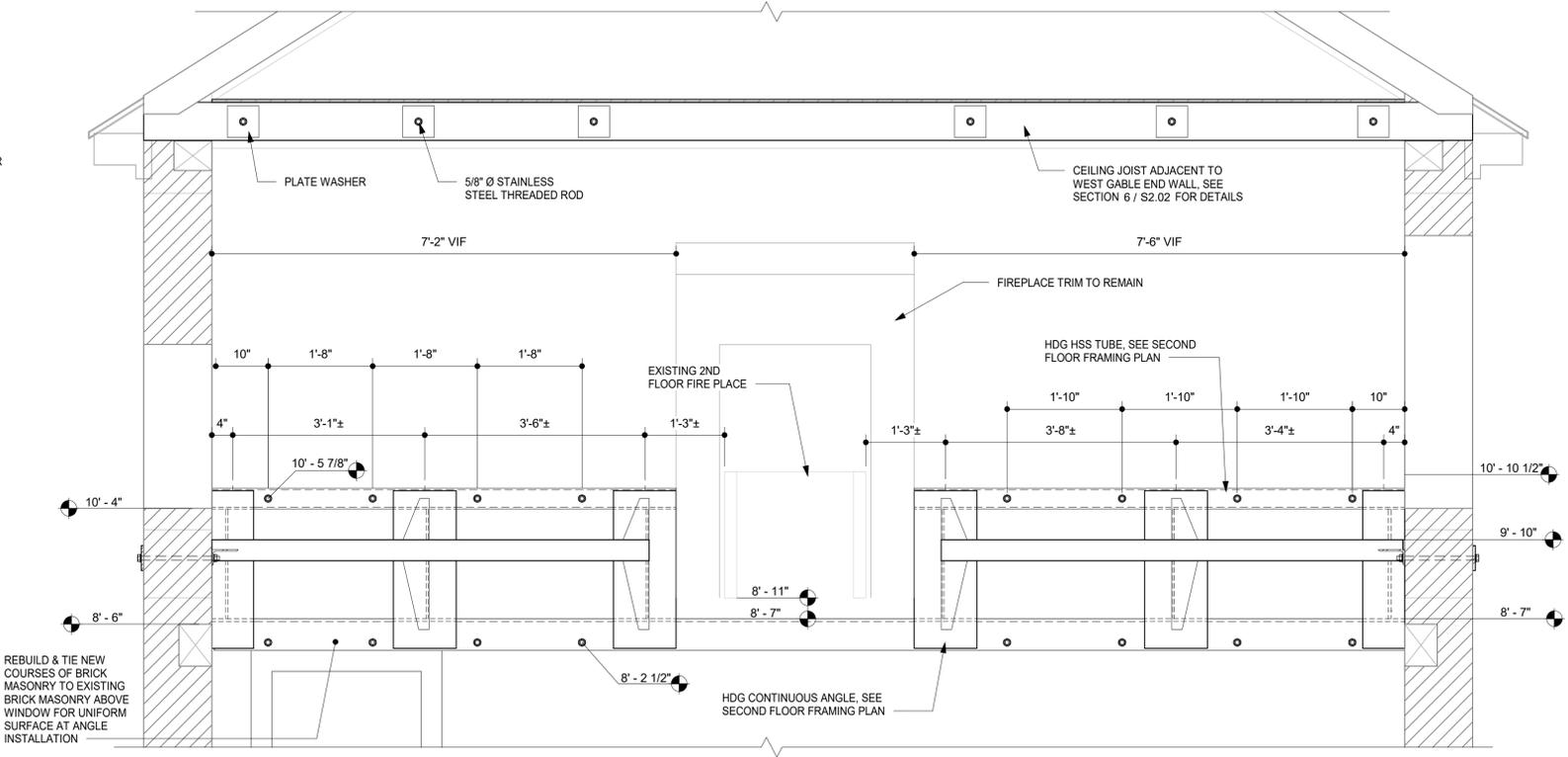
2 BRACE TO GABLE WALL SECTION
S2.01 1 1/2" = 1'-0"



3 BRACE TO WALL SECTION
S2.01 1 1/2" = 1'-0"



4 NORTH WALL - INTERIOR BRACE
S2.01 3/4" = 1'-0"



5 WEST WALL - INTERIOR W/ BRACE
S2.01 3/4" = 1'-0"

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WEST WALL - LATERAL BRACING

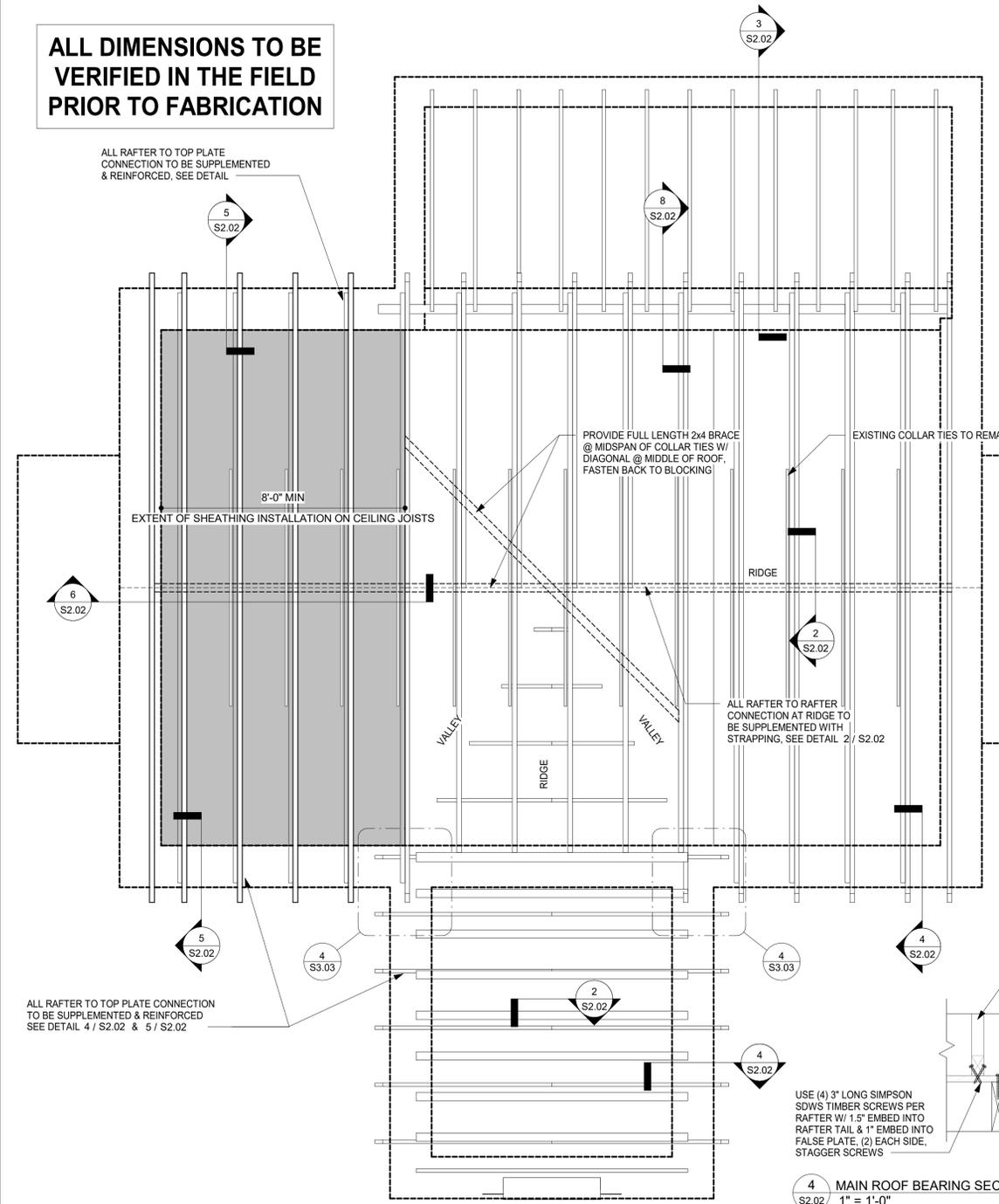
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Michael T. Lucas
MICHAEL T. LUCAS
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05/15/2025
PROFESSIONAL ENGINEER

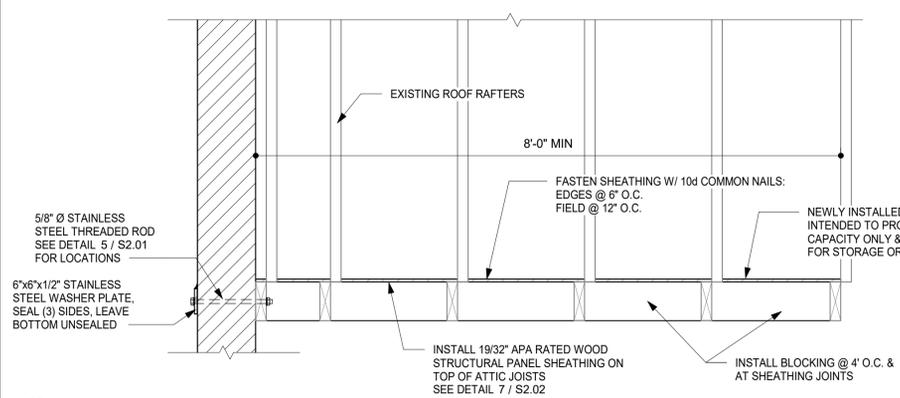
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S2.01

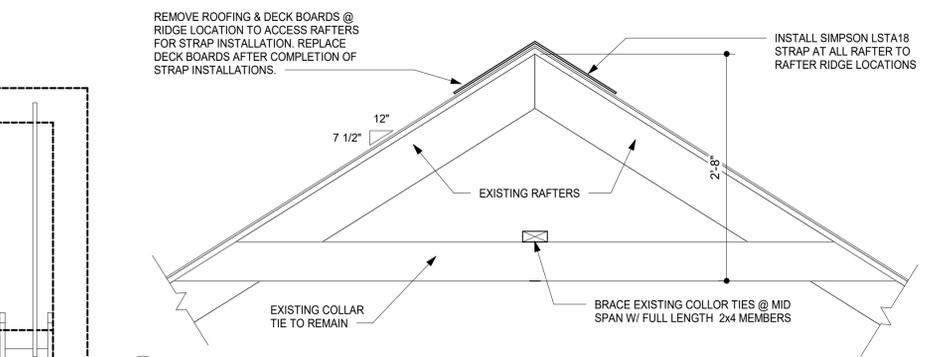
ALL DIMENSIONS TO BE VERIFIED IN THE FIELD PRIOR TO FABRICATION



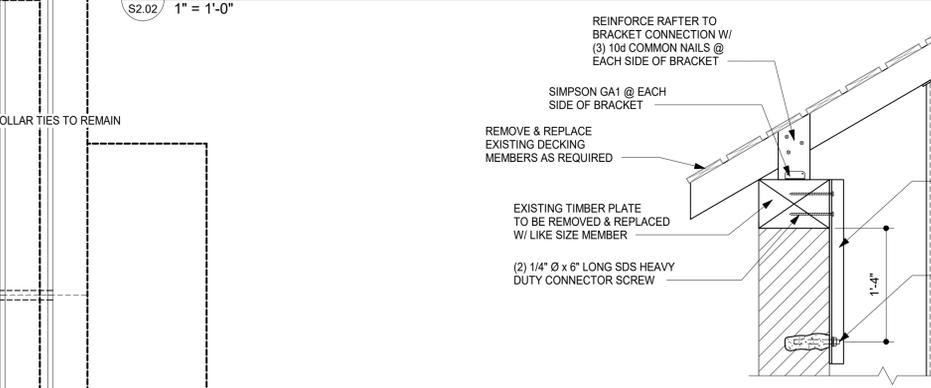
1 ROOF FRAMING PLAN
S2.02 3/8" = 1'-0"



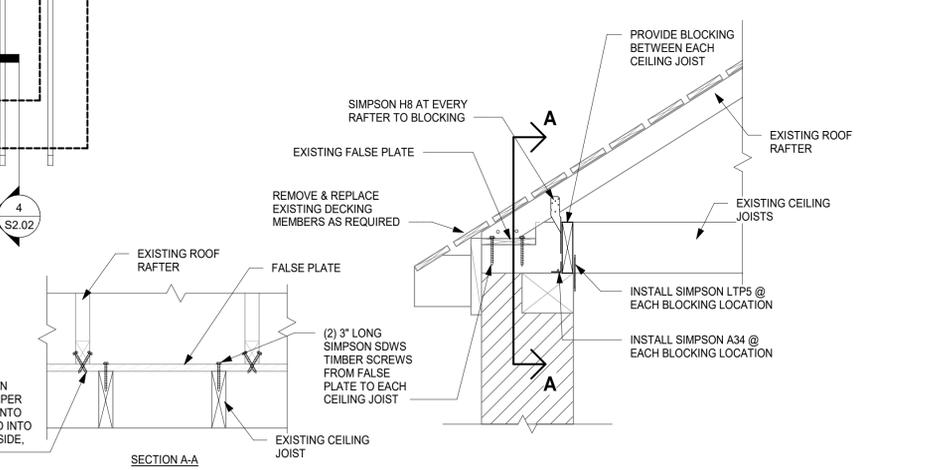
6 BRACING @ WEST GABLE END ROOF LEVEL
S2.02 3/4" = 1'-0"



2 MAIN ROOF RIDGE SECTION
S2.02 1" = 1'-0"

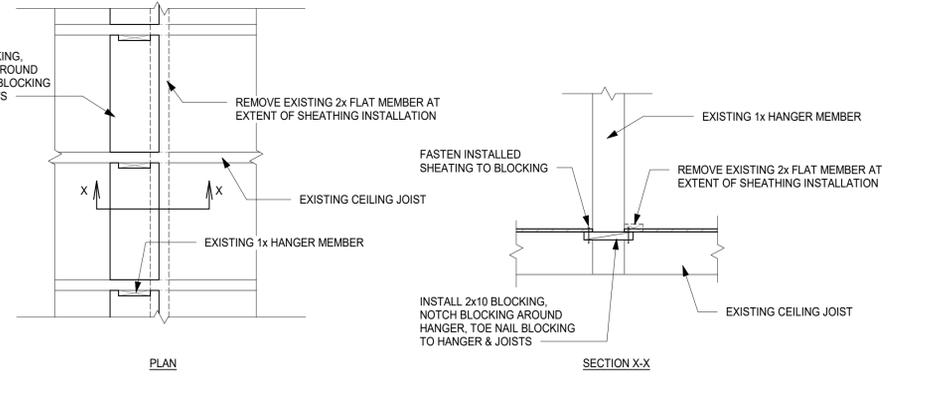


3 SHED ROOF SECTION
S2.02 1" = 1'-0"

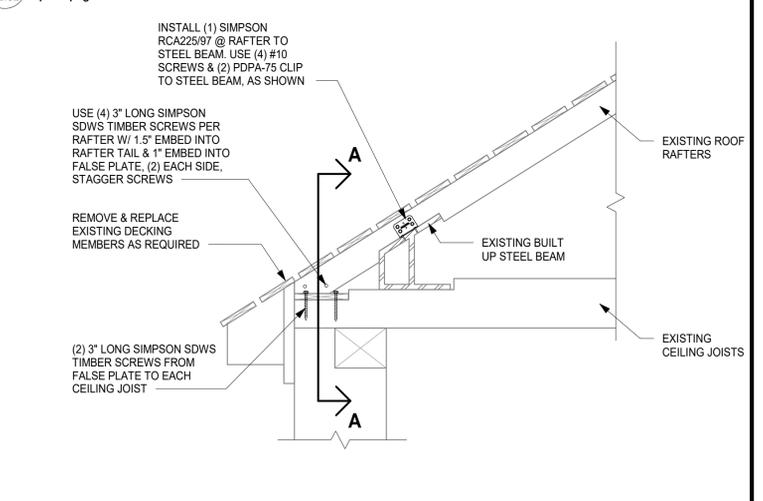


4 MAIN ROOF BEARING SECTION
S2.02 1" = 1'-0"

5 MAIN ROOF BEARING SECTION AT WEST GABLE END
S2.02 1" = 1'-0"



7 CEILING SHEATHING @ FRAMING MEMBERS
S2.02 3/4" = 1'-0"



8 MAIN ROOF BEARING AT EXISTING STEEL BEAM
S2.02 1" = 1'-0"

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ROOF FRAMING PLAN & DETAILS

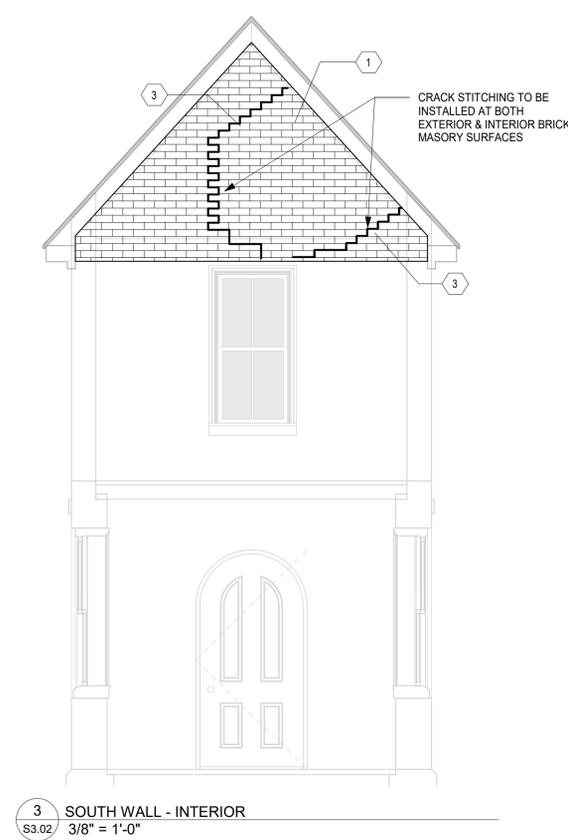
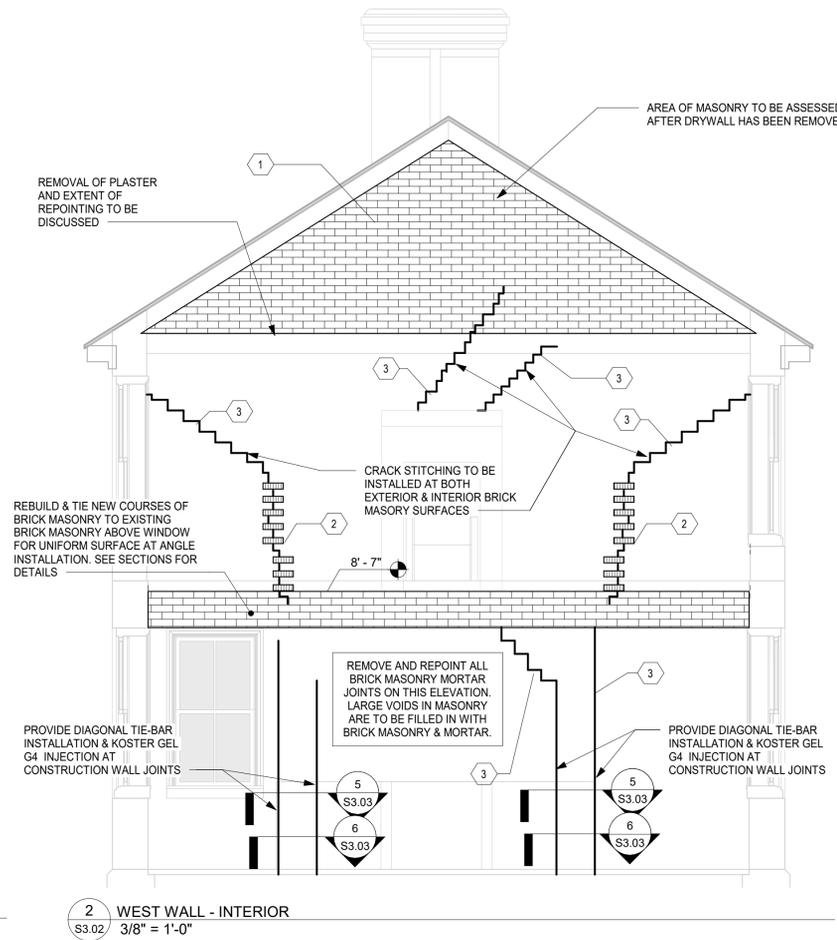
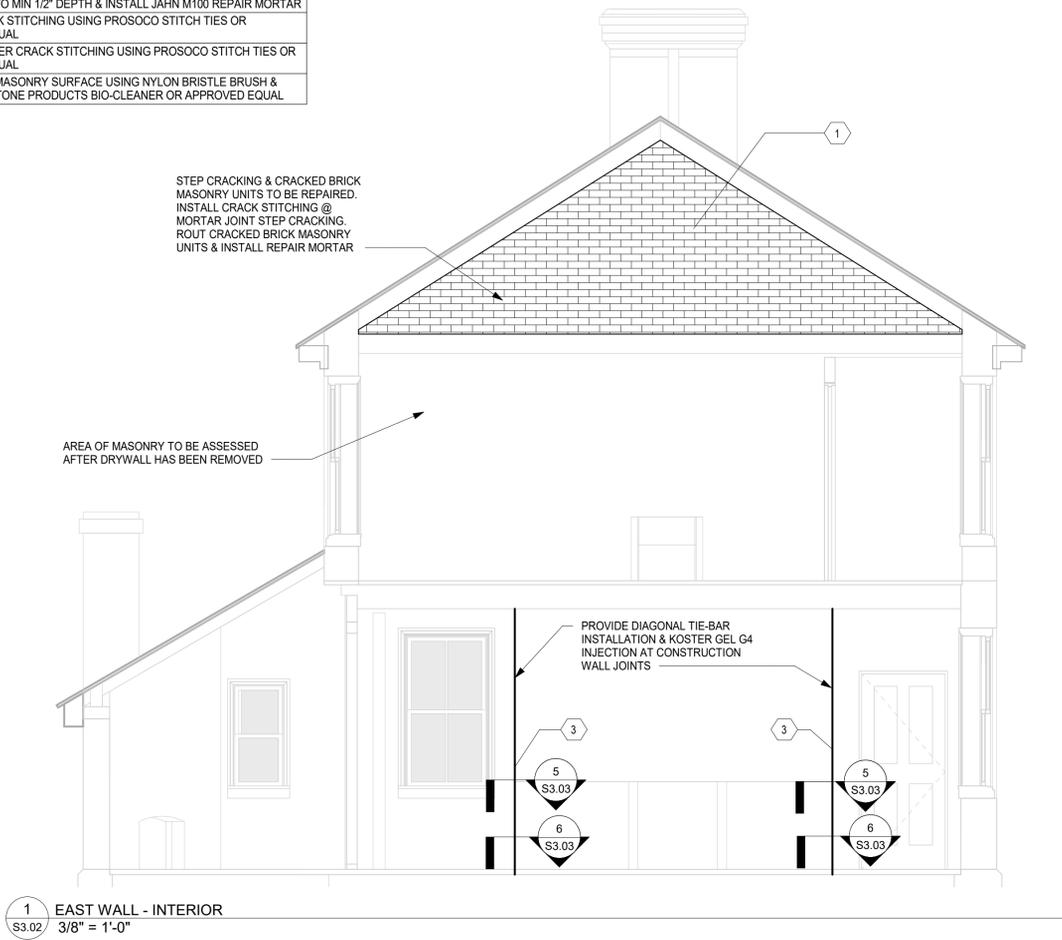
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Drawn: MJL Checked: TPJ
Project: MB246004

S2.02

SCOPE OF WORK	
1	REMOVE & REPOINT EXISTING MORTAR JOINTS WITH JAHN M110 JB HISTORIC BRICK POINTING MORTAR OR APPROVED EQUAL
2	ROUT CRACK TO MIN 1/2" DEPTH & INSTALL JAHN M100 REPAIR MORTAR
3	INSTALL CRACK STITCHING USING PROSOCO STITCH TIES OR APPROVED EQUAL
4	INSTALL CORNER CRACK STITCHING USING PROSOCO STITCH TIES OR APPROVED EQUAL
5	CLEAN BRICK MASONRY SURFACE USING NYLON BRISTLE BRUSH & CATHEDRAL STONE PRODUCTS BIO-CLEANER OR APPROVED EQUAL



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 757-220-0020 Williamsburg, VA
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 OWNER
 JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

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INTERIOR ELEVATIONS

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CONSULTANTS

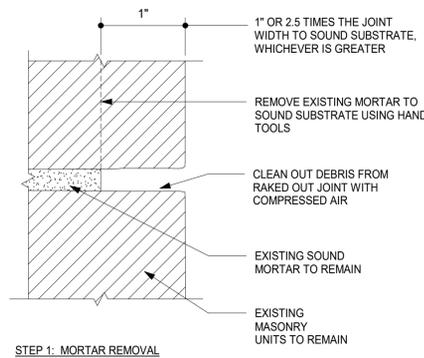
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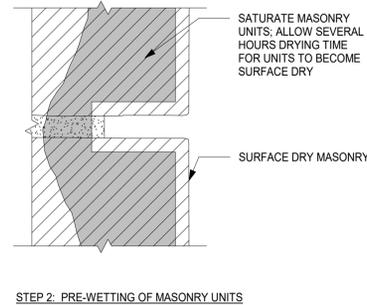
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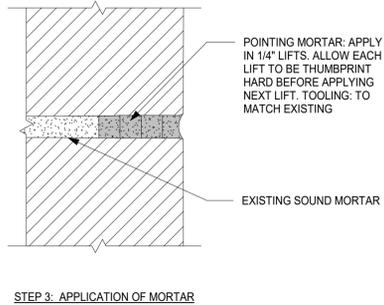
S3.02



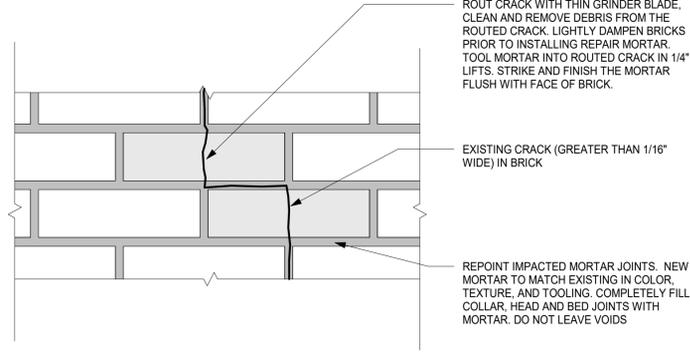
1 BRICK AND MASONRY REPOINTING BY HAND RAKE
S3.03 12" = 1'-0"



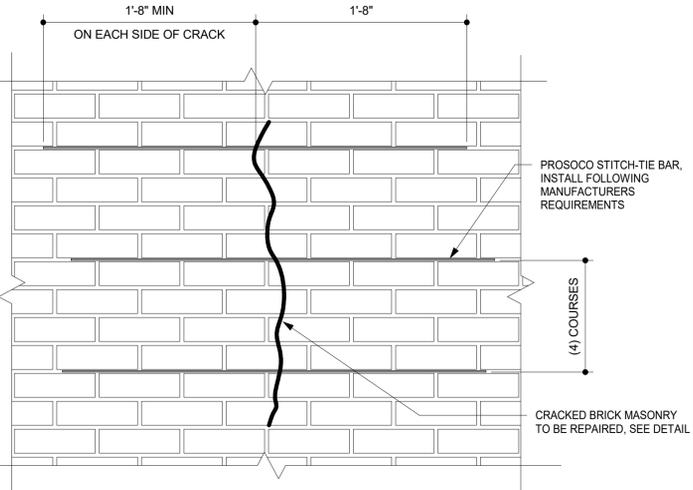
STEP 2. PRE-WETTING OF MASONRY UNITS



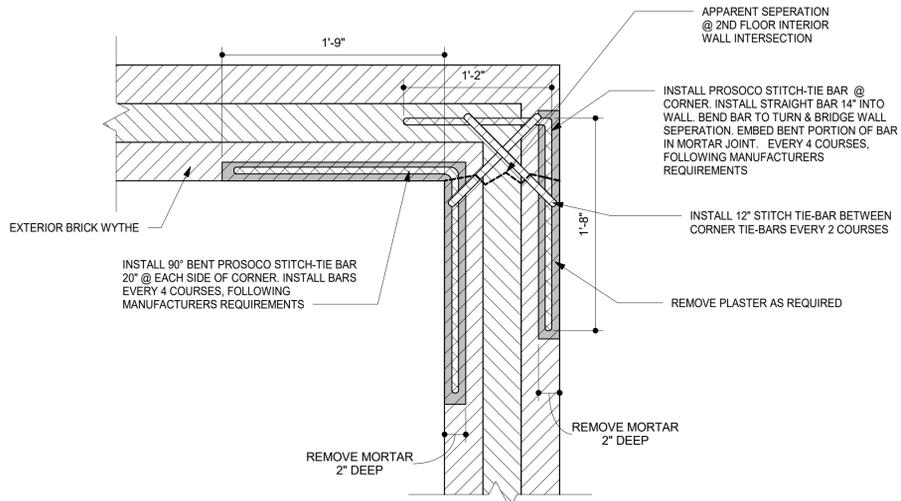
STEP 3. APPLICATION OF MORTAR



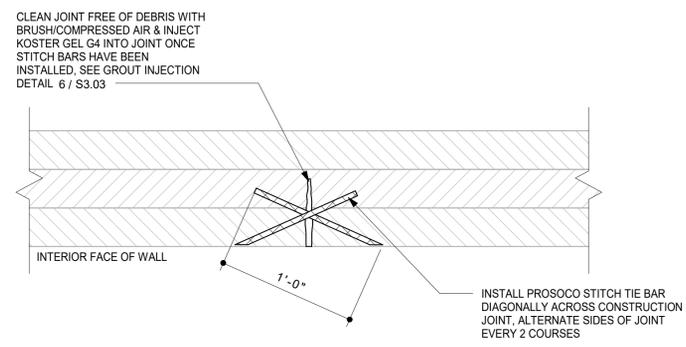
2 CRACKED BRICK MASONRY REPAIRS
S3.03 3" = 1'-0"



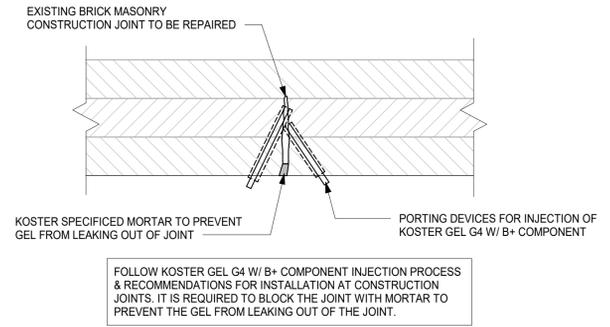
3 CRACK STITCHING
S3.03 1 1/2" = 1'-0"



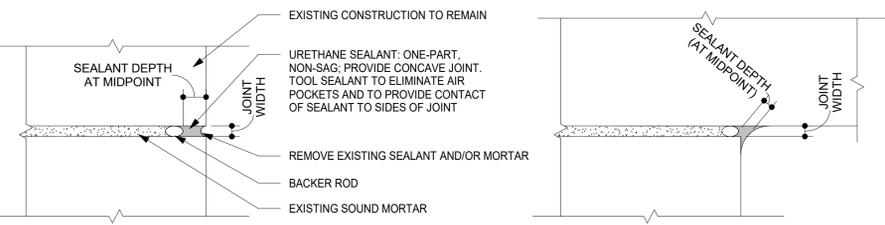
4 CORNER CRACK STITCHING - PLAN
S3.03 1 1/2" = 1'-0"



5 DIAGONAL TIE BAR INSTALLATION - SECTION PLAN
S3.03 1 1/2" = 1'-0"



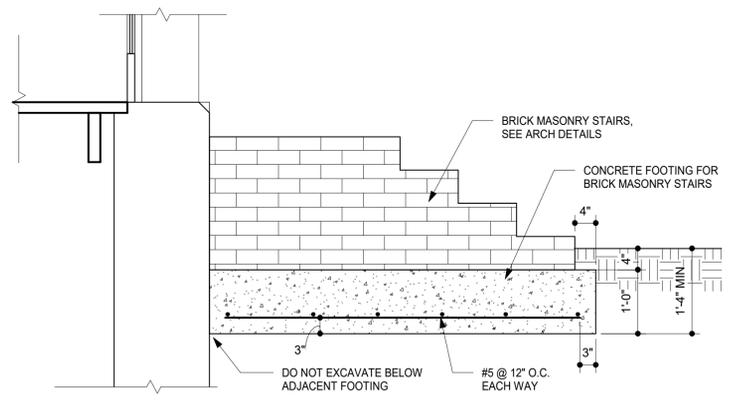
6 GROUT INJECTION AT CONSTRUCTION WALL JOINTS
S3.03 1 1/2" = 1'-0"



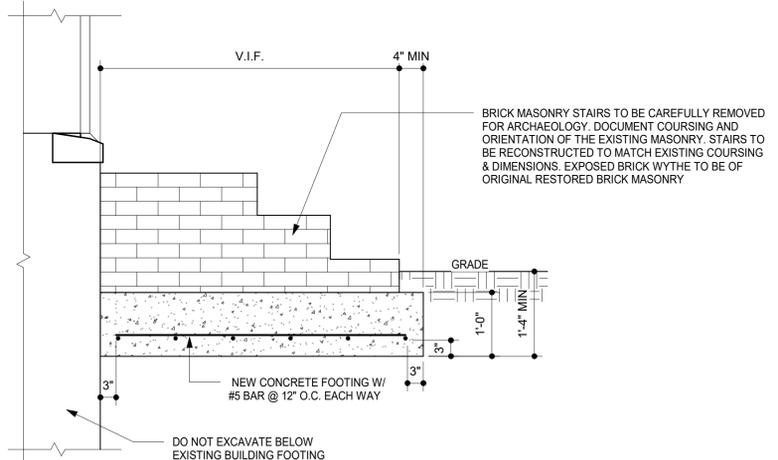
SEALANT DEPTH & BACKER ROD DIAMETER SHALL BE BASED ON THE FOLLOWING TABLE:

JOINT WIDTH	1/4"	3/8"	1/2"	5/8"	3/4"	7/8"	1 1/4"	1 1/2"
SEALANT DEPTH	1/4"	1/4"	1/4"	1/4" - 3/8"	3/8" - 1/2"	3/8" - 1/2"	1/2"	1/2"
BACKER ROD DIAMETER	3/8"	1/2"	5/8"	3/4"	1 1/4"	1 1/4"	1 1/2"	2"

7 SEALANT REPLACEMENT
S3.03 3" = 1'-0"



8 CONCRETE STAIR SECTION
S3.03 3/4" = 1'-0"



9 FRONT ENTRY STAIR FOUNDATION SECTION
S3.03 3/4" = 1'-0"

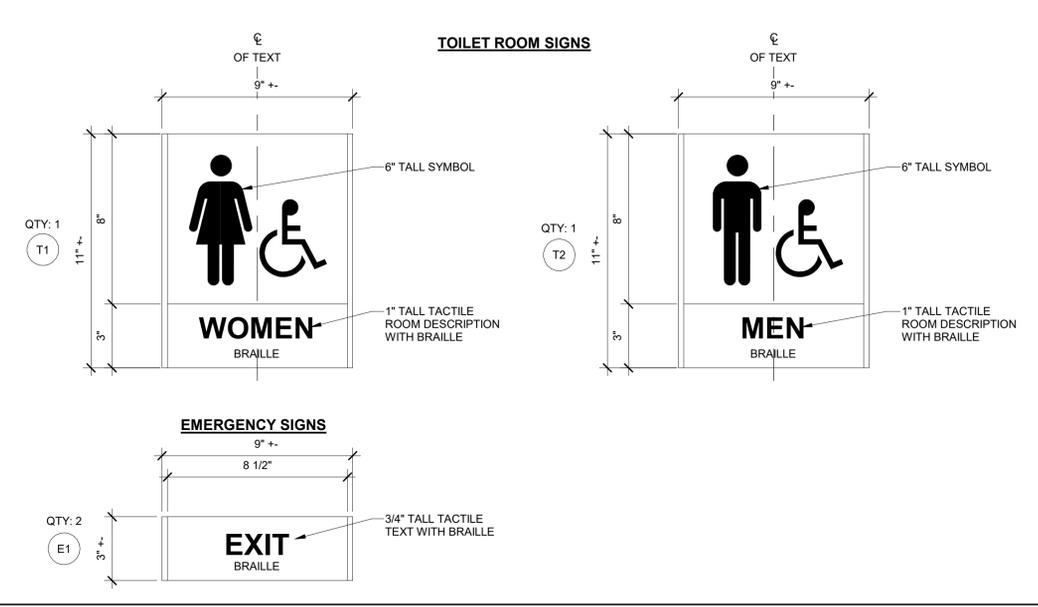
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ABBREVIATIONS

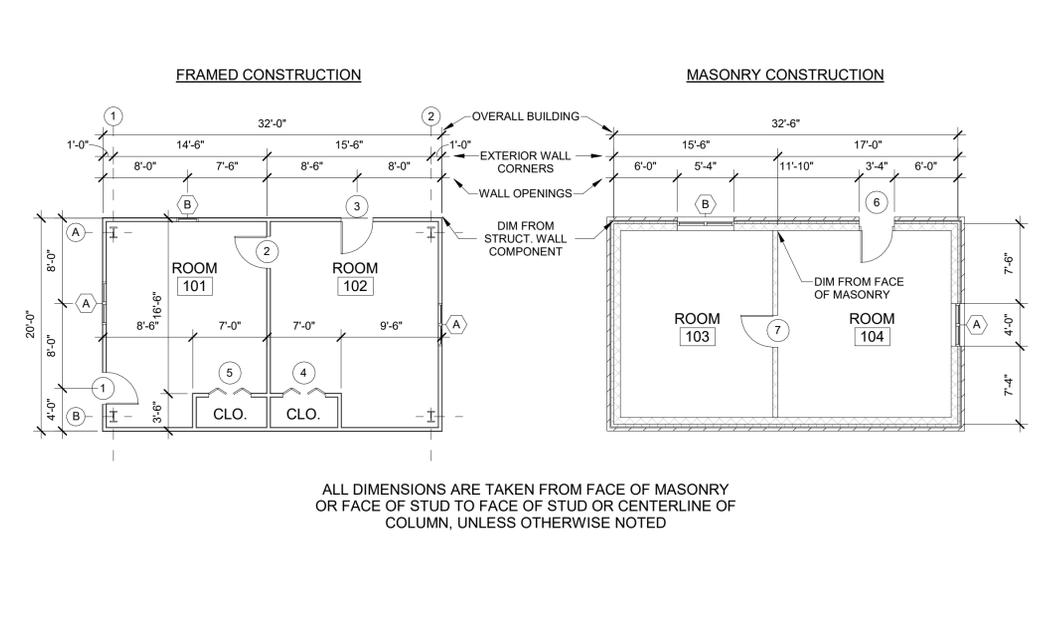
A/C	AIR CONDITIONING	N	NORTH
ACT	ACOUSTICAL CEILING TILE	NEC	NATIONAL ELECTRICAL CODE
ADA	AMERICANS WITH DISABILITIES ACT	NIC	NOT IN CONTRACT
ADDL	ADDITIONAL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
ADJ	ADJUSTABLE	NO	NUMBER
AFF	ABOVE FINISHED FLOOR	NOM	NOMINAL
AFG	ABOVE FINISHED GRADE	NRC	NOISE REDUCTION COEFFICIENT
AGG	AGGREGATE	NTS	NOT TO SCALE
AHU	AIR HANDLING UNIT	OC	ON CENTER
ALUM	ALUMINUM	OD	OUTSIDE DIAMETER
ALT	ALTERNATE	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
ANCH	ANCHOR, ANCHORAGE	OFOI	OWNER FURNISHED, OWNER INSTALLED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	CH	OVERHEAD
APPROX	APPROXIMATE	OPP	OPPOSITE
ARCH	ARCHITECT, ARCHITECTURAL	OTS	OPEN TO STRUCTURE
ATTEN	ATTENUATION	PAR	PARALLEL
AVG	AVERAGE	PART	PARTIAL
BOT	BOTTOM	PC	PRECAST
BD	BOARD	PCT	PORCELAIN CERAMIC TILE
BFG	BELOW FINISHED GRADE	PL	PROPERTY LINE
BIT	BITUMINOUS	PLAM	PLASTIC LAMINATE
BLDG	BUILDING	PLUMB	PLUMBING
BLKG	BLOCKING	PLY	PLYWOOD
BRG	BEARING	PREFAB	PREFABRICATE, PREFABRICATED
CAB	CABINET	PREFIN	PREFINISHED
OFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	PREP	PREPARE
CJ	CONTROL JOINT	PSF	POUNDS PER SQUARE FOOT
CL	CLEAR, CENTERLINE	PSI	POUNDS PER SQUARE INCH
CLO	CLOSET	PT	PAINT
C/L	CENTERLINE	PVC	POLYVINYL CHLORIDE
CLG	CEILING	QT	QUARRY TILE
CLR	CLEAR	QTY	QUANTITY
CMU	CONCRETE MASONRY UNIT	R	RADIUS, RISER
COL	COLUMN	RAD	RADIUS
COMM	COMMUNICATION	RB	RESILIENT BASE, RUBBER BASE
CONC	CONCRETE	PLR	REFLECTED CEILING PLAN
CONST	CONSTRUCTION	RD	ROOF DRAIN
CONT	CONTINUOUS	REC	RECEPTACLE
CORD	COORDINATE	REF	REFERENCE
CORR	CORRIDOR, CORRUGATED	REINF	REINFORCING
CPT	CARPET	REQD	REQUIRED
CT	CERAMIC TILE	RH	RIGHT HAND
D	DEEP, DEPTH, DRAIN	RM	ROOM
DBL	DOUBLE	RO	ROUGH OPENING
DEG	DEGREE	S	SOUTH
DEMO	DEMOLITION	SAN	SANITARY
DIA	DIAMETER	SECT	SECTION
DIM	DIMENSION	SF	SQUARE FEET
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SND	SANITARY NAPKIN DISPOSAL
E	EAST	SPEC	SPECIFICATION
EA	EACH	SQ	SQUARE
EF	EXHAUST FAN	SS	STAINLESS STEEL, SOLID SURFACE
EJ	EXPANSION JOINT	STC	SOURCE TRANSMISSION COEFFICIENT
ELEC	ELECTRICAL	STD	STANDARD
ELEV	ELEVATION	STL	STEEL
EQ	EQUAL	STOR	STORAGE
ETR	EXISTING TO REMAIN	STRUCT	STRUCTURAL
EQUIP	EQUIPMENT	SUSP	SUSPENDED
EX, EXIST	EXISTING	SYN	SYNTHETIC
EXP JT	EXPANSION JOINT	T	TON, TREAD, TOP
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN, FIRE DAMPER	TEMP	TEMPERATURE, TEMPERED
FDN	FOUNDATION	TERR	TERRAZZO
FE	FIRE EXTINGUISHER	TG	TEMPERED GLASS
FEC	FIRE EXTINGUISHER CABINET	THRU	THROUGH
FF	FINISH FLOOR	TO	TOP OF
FL, FLR	FLOOR	TOB	TOP OF BEAM
FOM	FACE OF MASONRY	TOC	TOP OF CONCRETE
FOS	FACE OF STUD	TOS	TOP OF STEEL
FP	FIREPROOF	TRTD	TREATED
FRP	FIBERGLASS REINFORCED PLASTIC	TV	TELEVISION
FT	FOOT, FEET	TYP	TYPICAL
FUR	FURRED, FURRING	UL	UNDERWRITERS LABORATORIES
GA	GAUGE	UNF	UNFINISHED
GALV	GALVANIZED	UNO, UON	UNLESS NOTED OTHERWISE, UNLESS OTHERWISE NOTED
GC	GENERAL CONTRACTOR	V	VOLT
GEN	GENERAL	VCC	VIRGINIA CONSTRUCTION CODE
GL	GLASS, GLAZING	VCT	VINYL COMPOSITION TILE
GOVT	GOVERNMENT	VEBC	VIRGINIA EXISTING BUILDING CODE
GWB	GYPSON WALLBOARD	VECC	VIRGINIA ENERGY CONSERVATION CODE
GYP	GYPSON	VEN	VENER
H, HT	HIGH, HEIGHT	VERT	VERTICAL
HC	HANDICAPPED, HOLLOW CORE	VRC	VIRGINIA RESIDENTIAL CODE
HORIZ	HORIZONTAL	VUSBC	VIRGINIA UNIFIED STATEWIDE BUILDING CODE
HM	HOLLOW METAL	W	WIDTH, WIDE, WEST
IBC	INTERNATIONAL BUILDING CODE	WAIN	WAINSCOT
IN	INCH	WB	WOOD BASE
INSUL	INSULATION, INSULATED	WC	WATER CLOSET
INHM	INSULATED HOLLOW METAL	WD	WOOD
JAN	JANITOR	WH	WATER HEATER
JC	JANITOR CLOSET	WT	WEIGHT
JT	JOINT	WWF	WELDED WIRE FABRIC
L	LONG, LENGTH	WWM	WELDED WIRE MESH
LED	LIGHT EMITTING DIODE	W/	WITH
LF	LINEAR FOOT	W/O	WITHOUT
LH	LEFT HAND	& +	AND
MAINT	MAINTENANCE	@	AT
MAX	MAXIMUM	Ø	DIAMETER
MECH	MECHANICAL	>	GREATER THAN
MED	MEDIUM	>=	GREATER THAN OR EQUAL TO
MTL	METAL	<	LESS THAN
MFG	MANUFACTURER	<=	LESS THAN OR EQUAL TO
MIN	MINIMUM, MINUTE	±, +/-	PLUS OR MINUS
MIR	MIRROR		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		

(CONTINUED NEXT COLUMN)

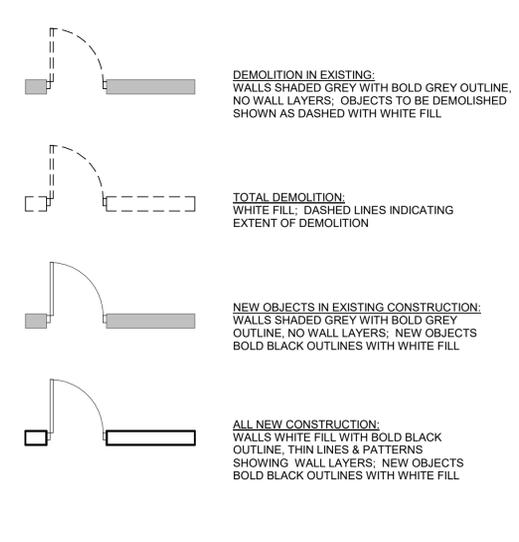
SIGN DETAILS



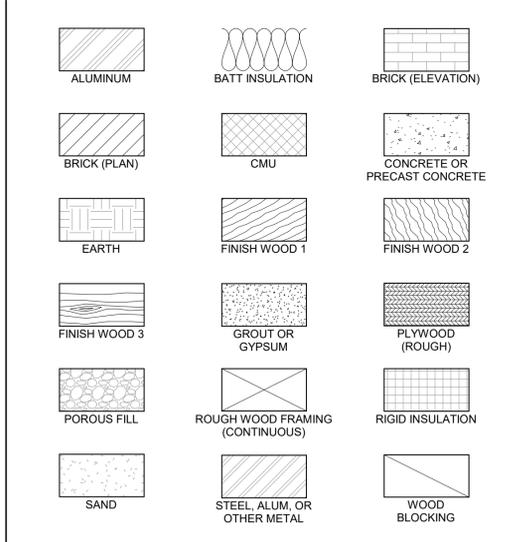
ANNOTATION STANDARDS



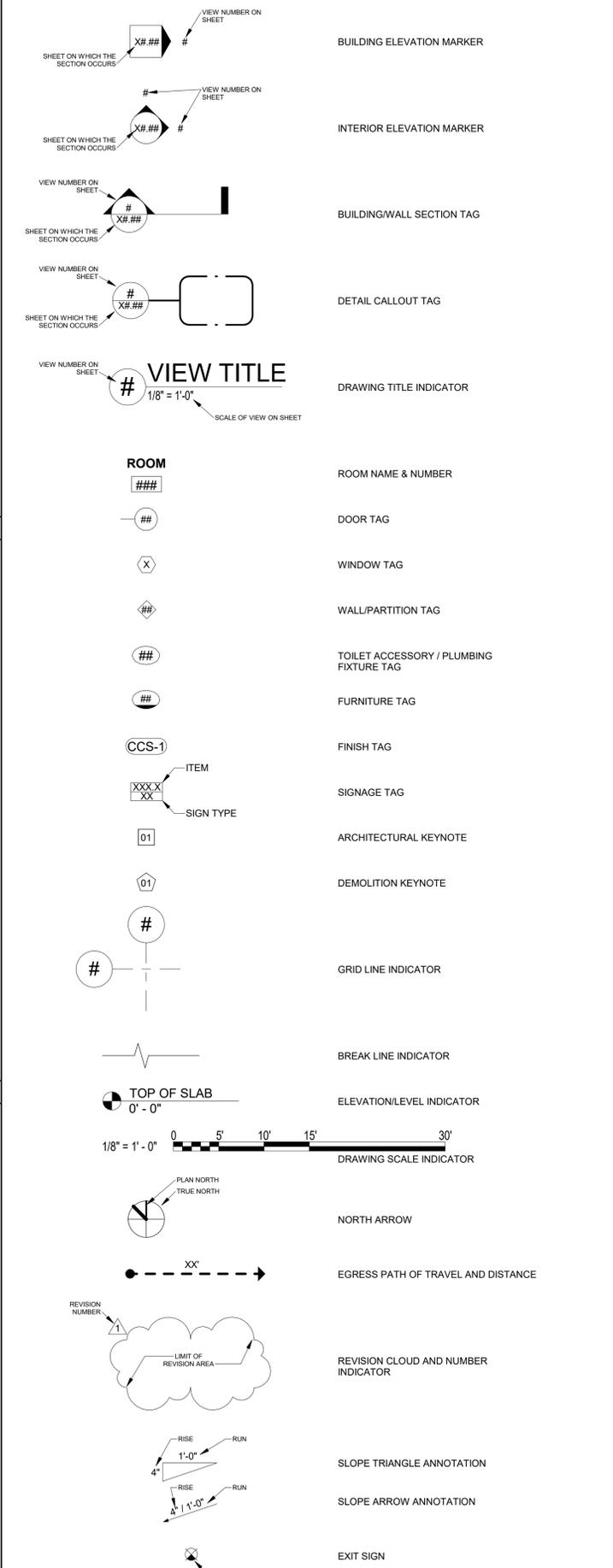
NEW/EXISTING LEGEND



PATTERN LEGEND



SYMBOLS LEGEND



GuernseyTingle
757-220-0220 Williamsburg, VA
guernseytingle.com

JBLE MATTHEW JONES HOUSE
JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA, 23604

REVISION SCHEDULE	DESCRIPTION	DATE	INITIALS

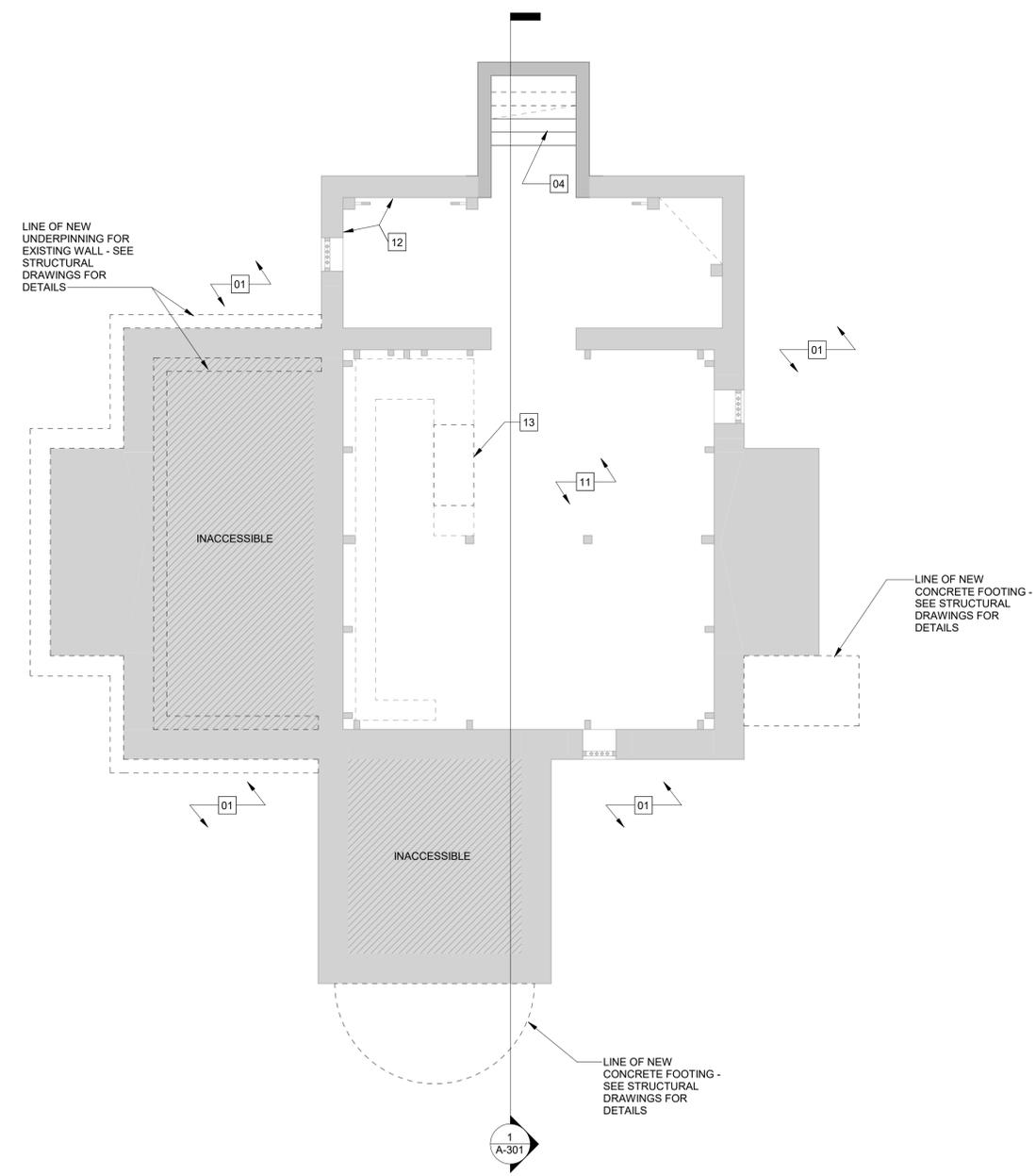
LEGENDS AND ABBREVIATIONS

100% DESIGN SUBMISSION

COMMONWEALTH OF VIRGINIA
Timothy Michael Crassy
Lic. No. 0401018466
5/15/2025
ARCHITECT

Date: 5/15/25
Drawn: JAB Checked: TMC
Project: 224085

A-001



1
 A-101 1/4" = 1'-0"
BASEMENT PLAN

FLOOR PLAN GENERAL NOTES

- A. CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAR AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
- B. CONTRACTOR AND OWNER TO COORDINATE ON THE REMOVAL AND PROPER OFF-SITE STORAGE OF ALL ITEMS FROM THE JOB SITE.
- C. ALL ARCHAEOLOGICAL WORK SHALL BE COORDINATED WITH THE PROJECT MANAGER.

FLOOR PLAN KEYNOTES

- 01 REMOVE AND REPLACE EXISTING FOUNDATION DRAINAGE SYSTEM, AND SEAL PENETRATION FOR WATER LINE IN CELLAR. FOLLOWING THE REMOVAL OF THE EXISTING SYSTEM, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AROUND THE BUILDING PERIMETER. FOLLOWING THE COMPLETION OF ARCHAEOLOGY, INSTALL NEW FRENCH DRAIN AND CONNECT NEW SYSTEM TO CLEAR OUTLET.
- 02 WHERE EXISTING FLOOR BOARDS ARE DETERIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONG-LEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING. LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- 03 REMOVE ALL DAMAGED OR MOLDY DRYWALL, AND PLASTER.
- 04 REMOVE EXISTING CELLAR STAIR. FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.
- 05 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 06 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING.
- 07 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 08 REPAIR RUPTURED PLUMBING THAT SERVES SECOND FLOOR BATH.
- 09 RESTORE MISSING ELEMENTS OF FIRST-FLOOR FIREBOX OF WEST CHIMNEY USING 19TH-CENTURY FIREBRICKS.
- 10 REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- 11 SAW-CUT AND REMOVE MARGIN OF BASEMENT FLOOR SLAB, REPLACING WITH GRAVEL.
- 12 REMOVE PARKING IN THE NORTHWEST BASEMENT CORNER
- 13 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REMOVE AND REPLACE EXISTING CARRIER FB4A DIRECT-EXPANSION FAN COIL UNIT IN BASEMENT AND EXISTING DUCANE HP10830PA UNITS TO THE SOUTHEAST OF THE FRONT ENTRY. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- 14 CLEAR DEBRIS FROM EXISTING FLOOR SLIT VENTS. WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- 15 COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSE.

REVISION SCHEDULE	
DESCRIPTION	DATE INITIALS

BASEMENT PLAN

100% DESIGN SUBMISSION



TRUE NORTH

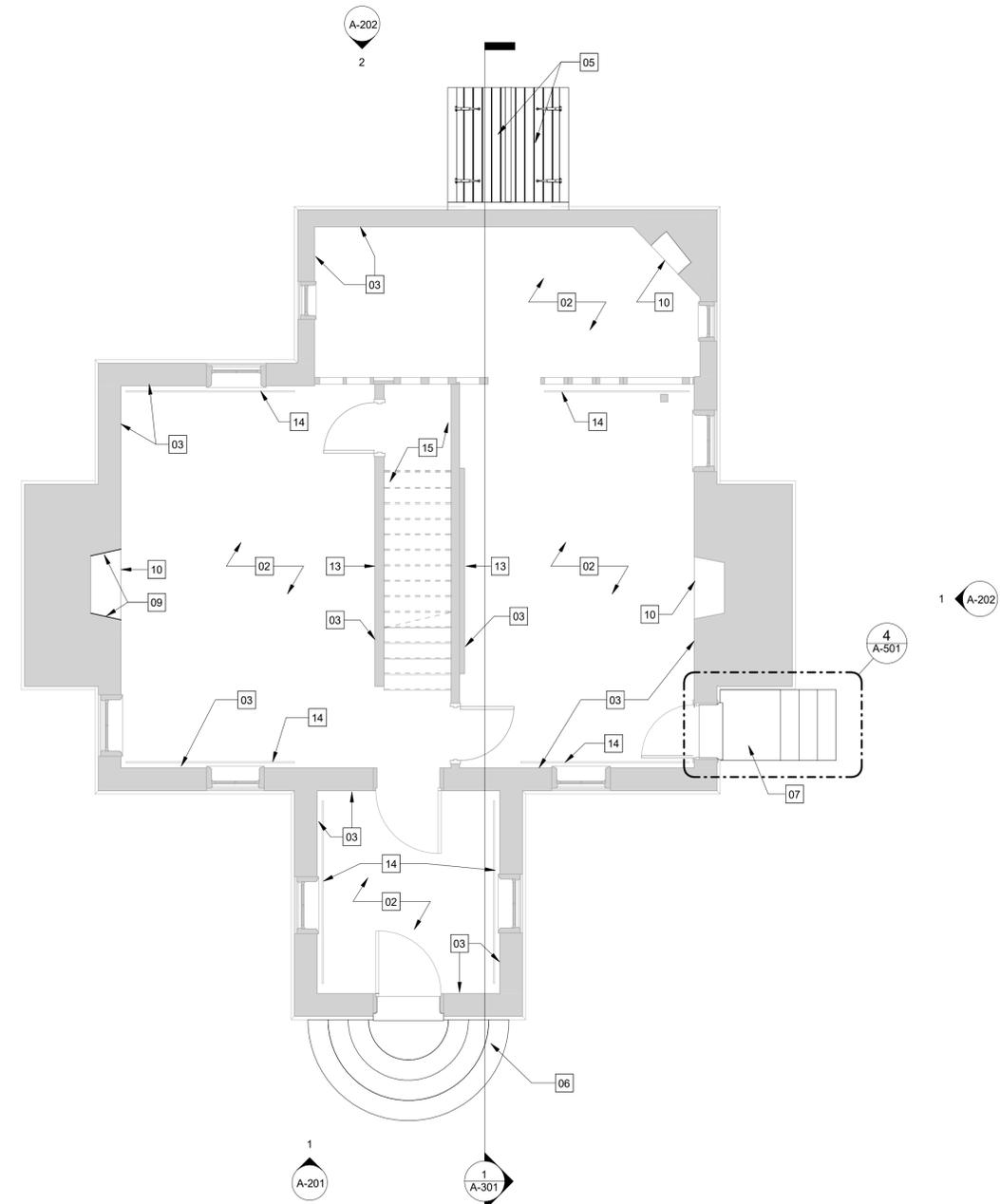


GRAPHIC SCALE(S)



Date: 5/15/25
 Drawn: JAB Checked: TMC
 Project: 224085

A-101



1 FIRST FLOOR
 A-102 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- A. CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAR AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
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- 14 CLEAR DEBRIS FROM EXISTING FLOOR SLIT VENTS. WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- 15 COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSET.

TRUE NORTH



GRAPHIC SCALE(S)



REVISION SCHEDULE	
DESCRIPTION	DATE

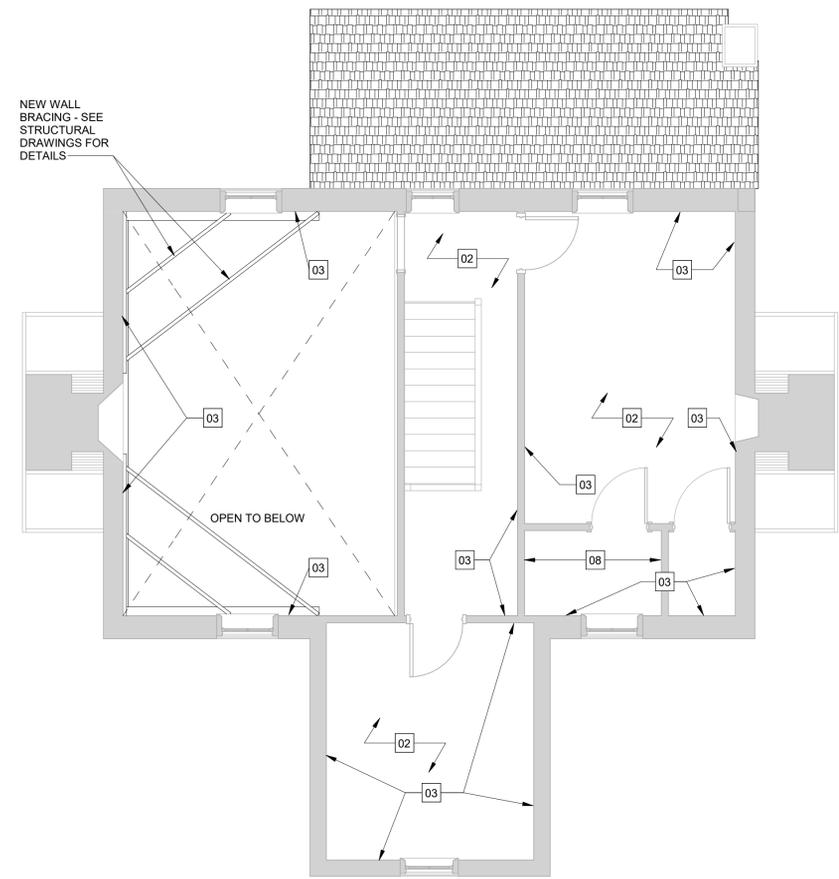
FIRST FLOOR PLAN

100% DESIGN SUBMISSION



Date: 5/15/25
 Drawn: JAB Checked: TMC
 Project: 224085

A-102



1 SECOND FLOOR
 A-103 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- A. CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAR AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
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FLOOR PLAN KEYNOTES

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- 07 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
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- 14 CLEAR DEBRIS FROM EXISTING FLOOR SLIT VENTS. WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- 15 COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSE.

TRUE NORTH



GRAPHIC SCALE(S)



REVISION SCHEDULE		DATE	INITIALS
#	DESCRIPTION		

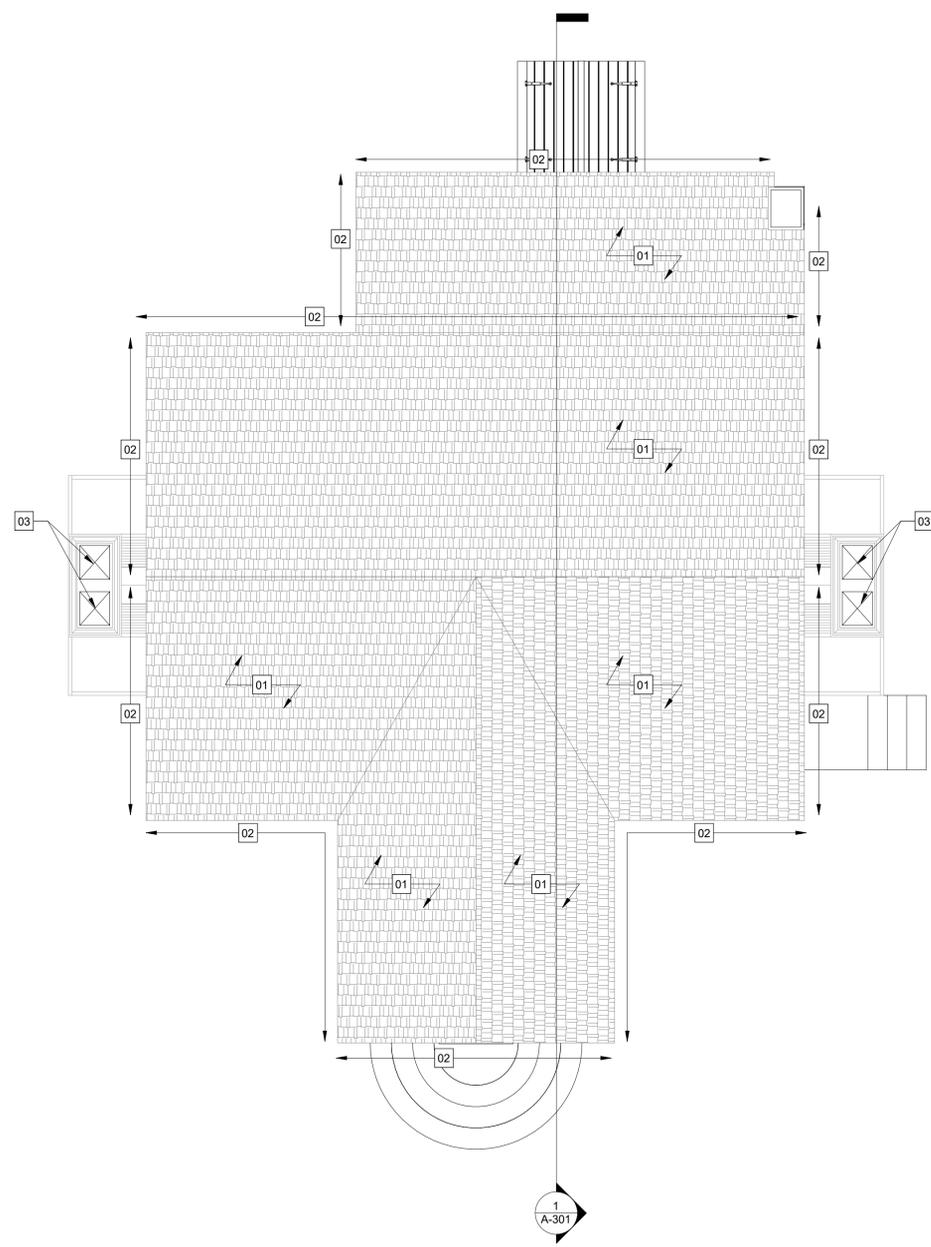
SECOND FLOOR PLAN

100% DESIGN SUBMISSION



Date: 5/15/25
 Drawn: JAB Checked: TMC
 Project: 224085

A-103



1
 A-111
 1/4" = 1'-0"

Plotted on: 5/15/2025 12:09:43 PM

ROOF PLAN KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DECKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR BREATHER AND VAPROSHIELD UNDERLAYMENT. INSTALL NEW SHINGLE SYSTEM. NEW SHINGLES ARE TO BE ALASKAN YELLOW CEDAR, SQUARE BUTT, 3" TO 5" WIDE BY 18" LONG BY 5/8" TO 3/4" THICK AT THE BUTT, SECURED WITH STAINLESS STEEL, RING-SHANK NAILS TO DISPLAY A 6" EXPOSURE. RENEW ALL FLASHINGS IN LEAD, SECURED WITH LEAD WOOL. PROVIDE NEW COPPER DRIP EDGES AT RAKES AND EAVES, AND PROVIDE NEW COPPER GUTTERS AND RAIN LEADERS.
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 03 FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY

TRUE NORTH



GRAPHIC SCALE(S)



#	DESCRIPTION	DATE	INITIALS

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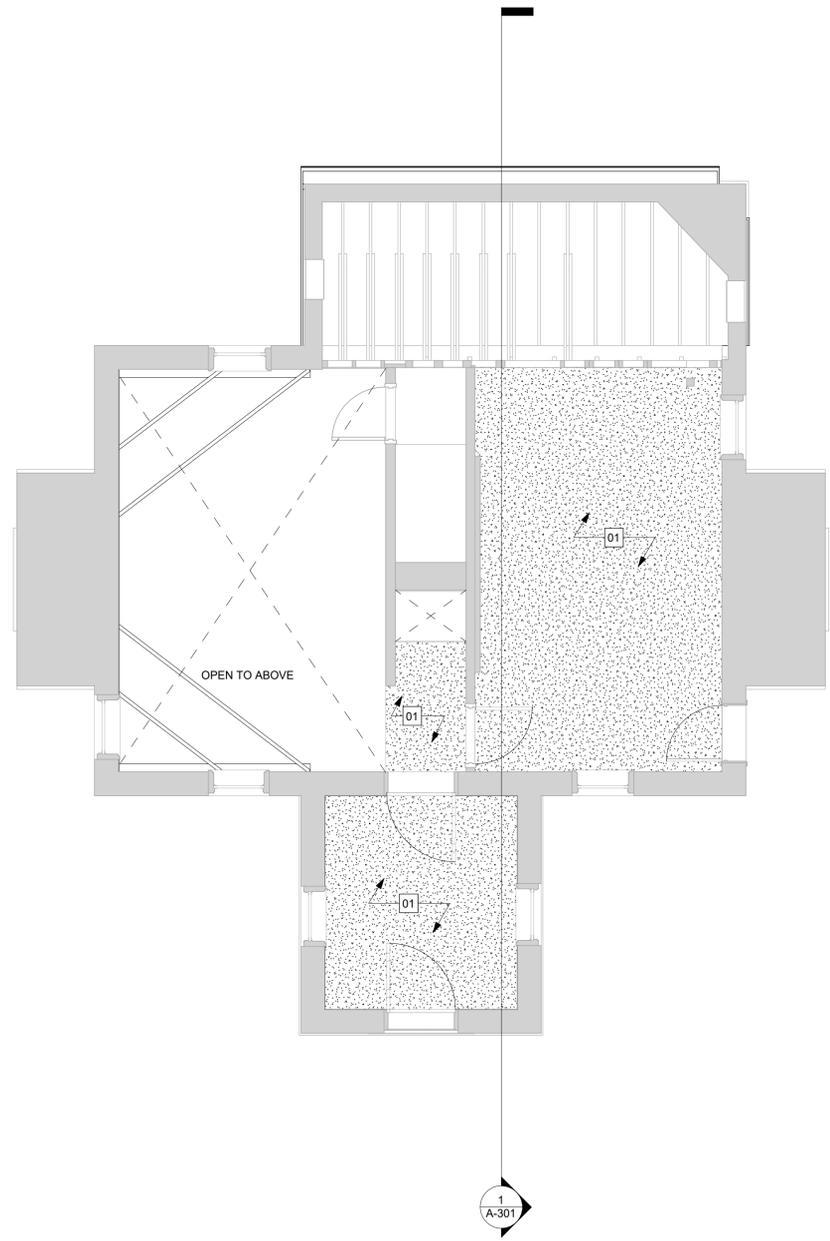
ROOF PLAN

100% DESIGN SUBMISSION

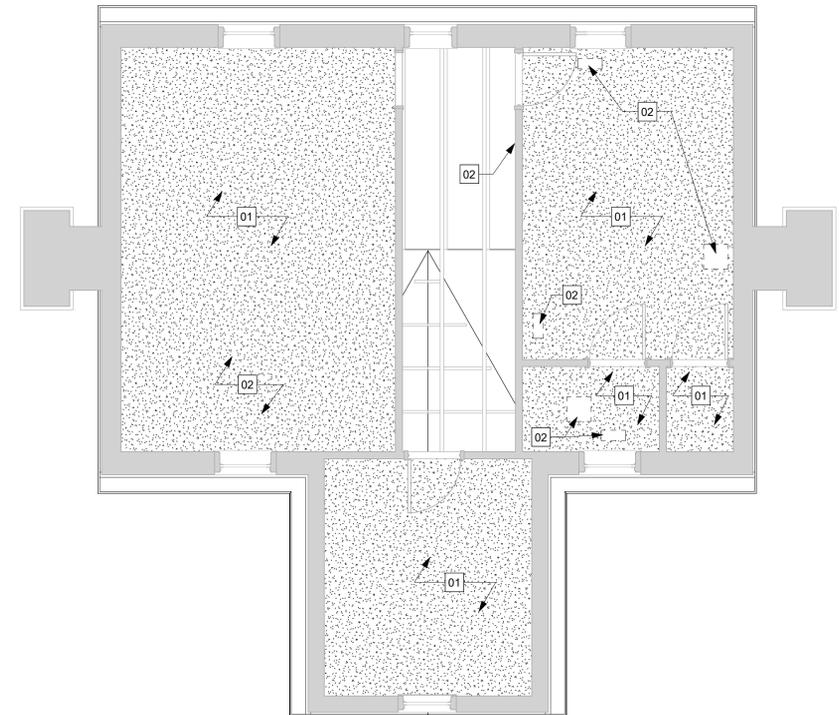


Date: 5/15/25
 Drawn: JAB Checked: TMC
 Project: 224085

A-111



1 FIRST FLOOR REFLECTED CEILING PLAN
 A-121 1/4" = 1'-0"



2 SECOND FLOOR REFLECTED CEILING PLAN
 A-121 1/4" = 1'-0"

RCP GENERAL NOTES
 A. COORDINATE CEILING AND ROOF WORK WITH MECHANICAL AND PLUMBING EQUIPMENT.
 B. ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN ELEMENTS AND INTERIOR TRIM TO REMAIN.

RCP LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- GYPSUM BOARD CEILING

RCP KEYNOTES

01 REMOVE AND REPLACE EXISTING DAMAGED DRYWALL CEILINGS. REINSTALL PREVIOUSLY REMOVED DRYWALL CEILINGS WHERE INDICATED. PROVIDE INSULATION. COORDINATE FIRE DETECTION SYSTEMS AND LIGHTING IN THE WEST ROOM.

02 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.

TRUE NORTH

GRAPHIC SCALE(S)

1/8" = 1' - 0"

REVISION SCHEDULE

#	DESCRIPTION	DATE	INITIALS

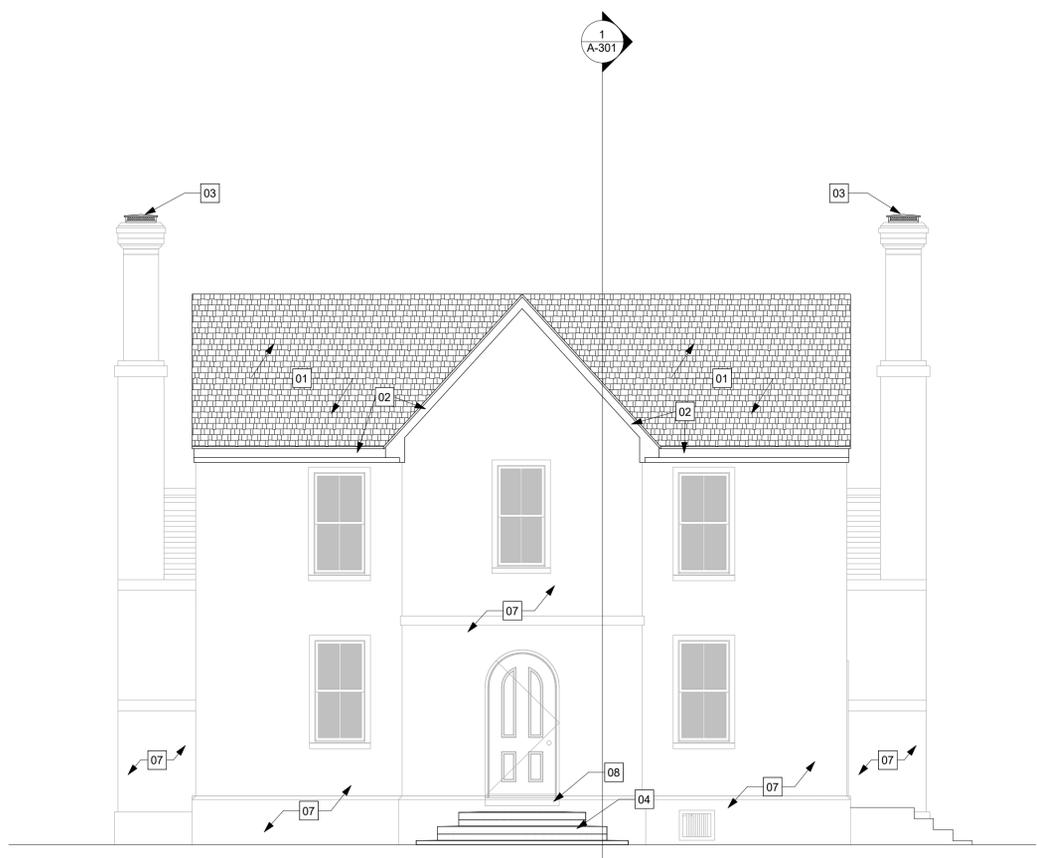
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REFLECTED CEILING PLANS
 100% DESIGN SUBMISSION

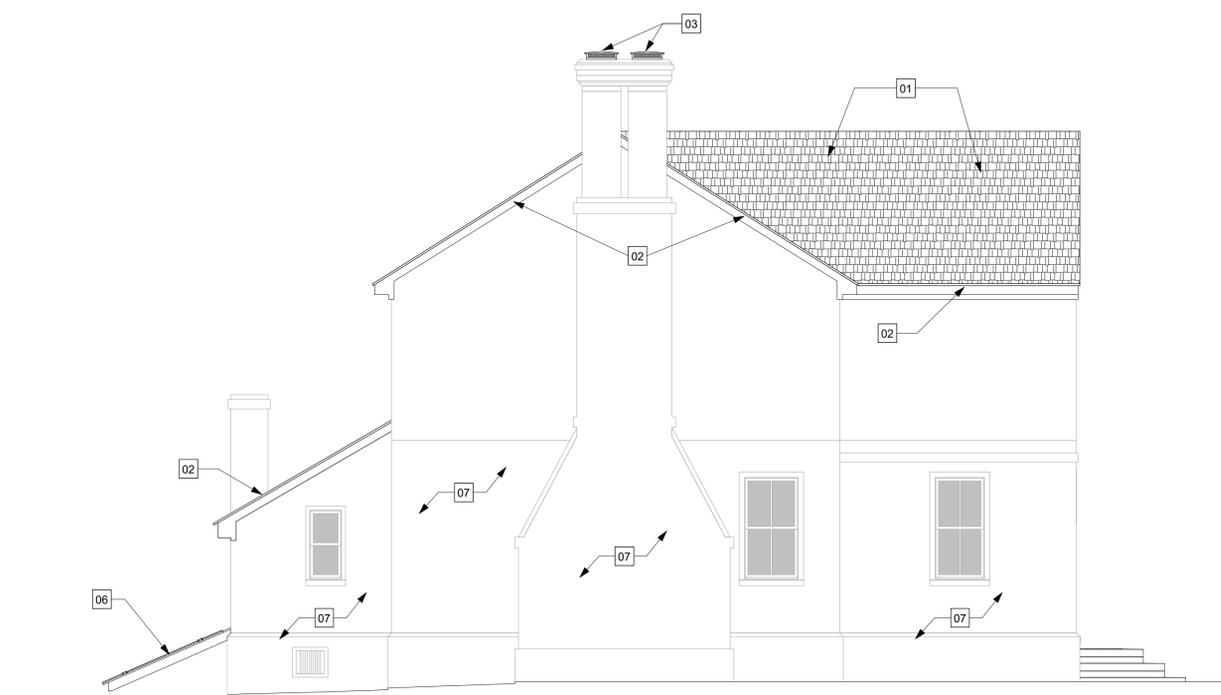
5/15/2025

Date: 5/15/25
 Drawn: JAB Checked: TMC
 Project: 224085

A-121



1
 A-201
 NEW WORK - SOUTH ELEVATION
 1/4" = 1'-0"



3
 A-201
 NEW WORK - WEST ELEVATION
 1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DECKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY CAP CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING
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- 04 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING
- 05 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 06 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 07 COMPLETE MASONRY WORK AS IDENTIFIED IN STRUCTURAL DRAWINGS
- 08 REPAIR EXTERIOR DOOR SILL AT FRONT TOWER. PLUG HOLES IN THE FRONT FACE AND FILL WITH FLEXIBLE EPOXY.
- 09 REPLACE EXTERIOR DOOR SILL TO MATCH EXISTING IN KIND. NEW DOOR SILL ELEMENT TO BE RECLAIMED LONG-LEAF SOUTHERN YELLOW PINE, TREATED.

GRAPHIC SCALE(S)



#	DESCRIPTION	DATE	INITIALS

SOUTH AND WEST ELEVATIONS

100% DESIGN SUBMISSION



Date: 5/15/25
 Drawn: JAB Checked: TMC
 Project: 224085

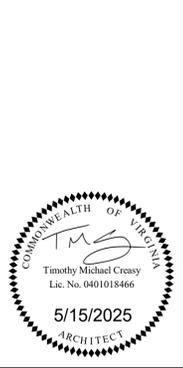
A-201

#	DESCRIPTION	DATE	INITIALS

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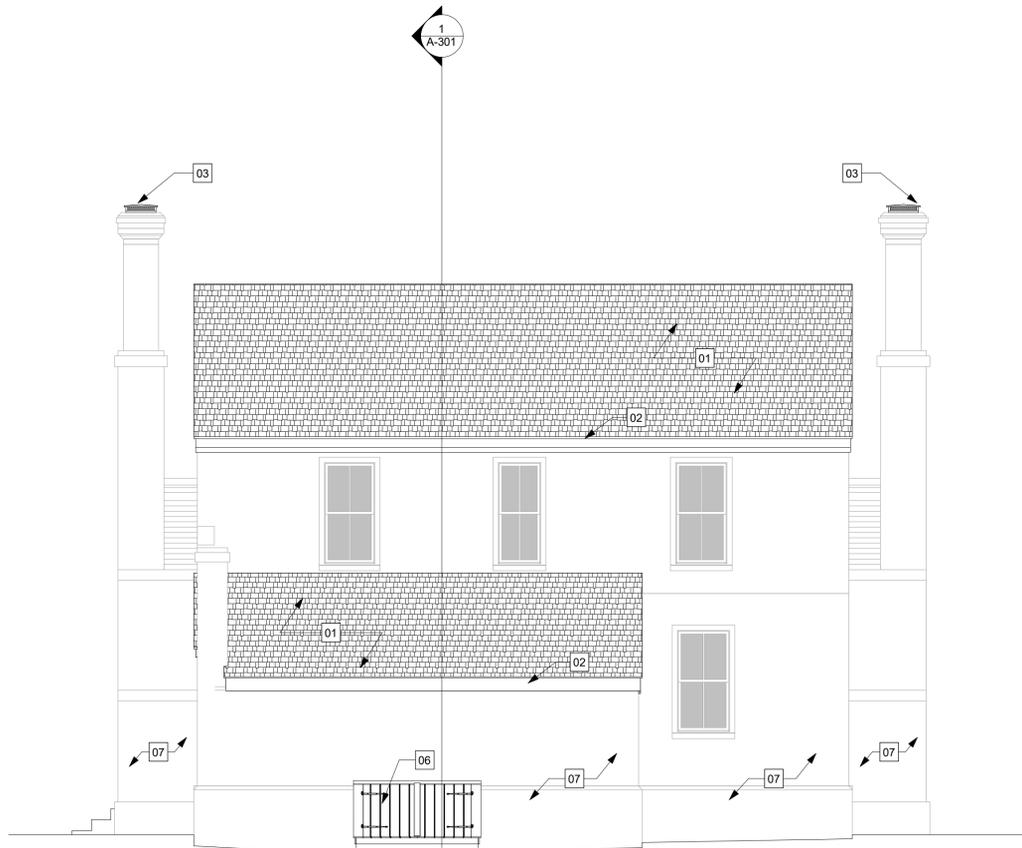
NORTH AND EAST ELEVATIONS

100% DESIGN SUBMISSION

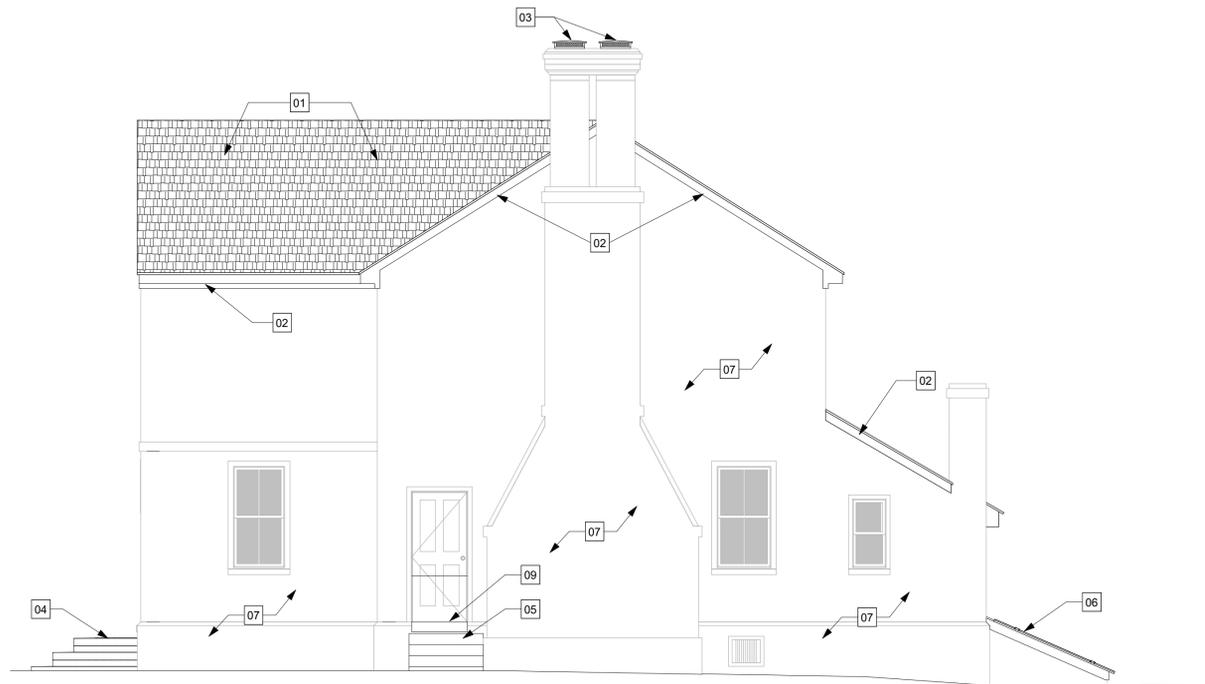


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 Drawn: JAB Checked: TMC
 Project: 224085

A-202



2 NEW WORK - NORTH ELEVATION
 A-202 1/4" = 1'-0"



1 NEW WORK - EAST ELEVATION
 A-202 1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DECKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 03 FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY CAP
- 04 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING
- 05 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 06 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 07 COMPLETE MASONRY WORK AS IDENTIFIED IN STRUCTURAL DRAWINGS
- 08 REPAIR EXTERIOR DOOR SILL AT FRONT TOWER. PLUG HOLES IN THE FRONT FACE AND FILL WITH FLEXIBLE EPOXY.
- 09 REPLACE EXTERIOR DOOR SILL TO MATCH EXISTING IN KIND. NEW DOOR SILL ELEMENT TO BE RECLAIMED LONG-LEAF SOUTHERN YELLOW PINE, TREATED.

GRAPHIC SCALE(S)



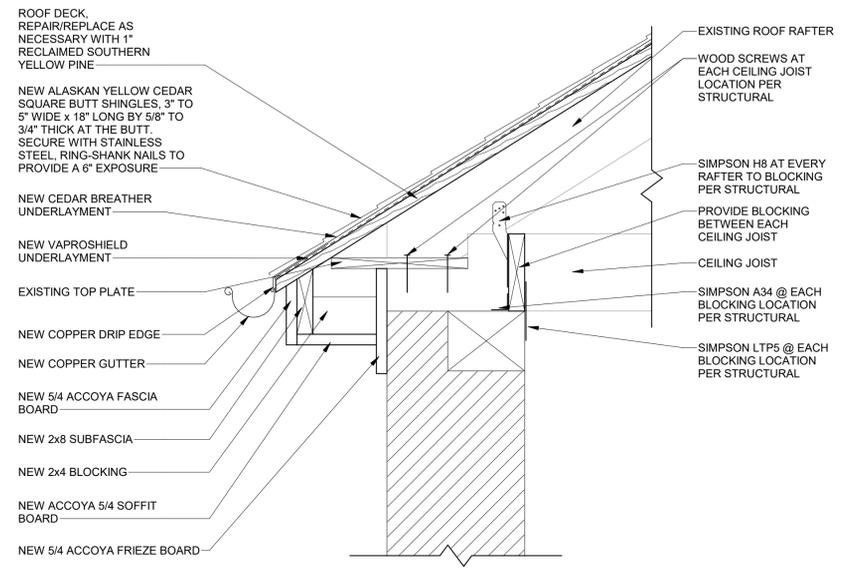
#	REVISION SCHEDULE	DESCRIPTION	DATE	INITIALS	
				DATE	INITIALS

BUILDING SECTION
 100% DESIGN SUBMISSION

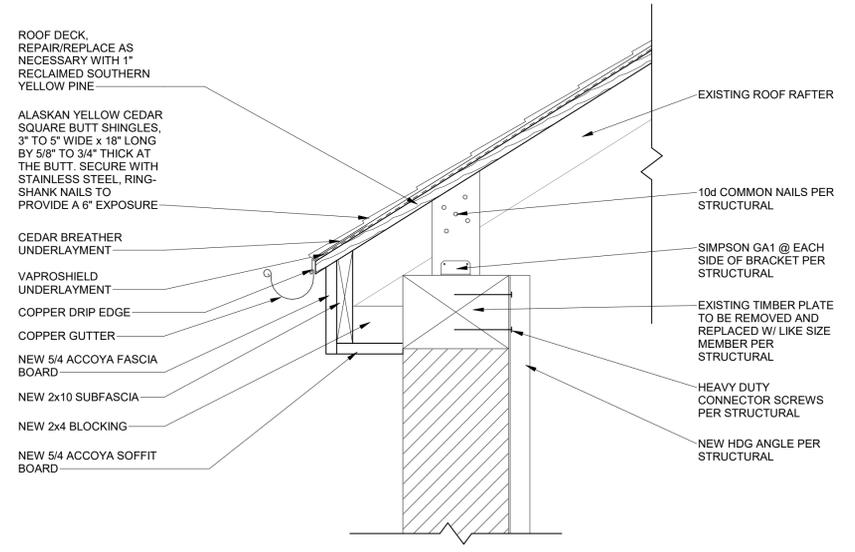
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 Project: 224085

A-301



2
 A-301 1 1/2" = 1'-0"

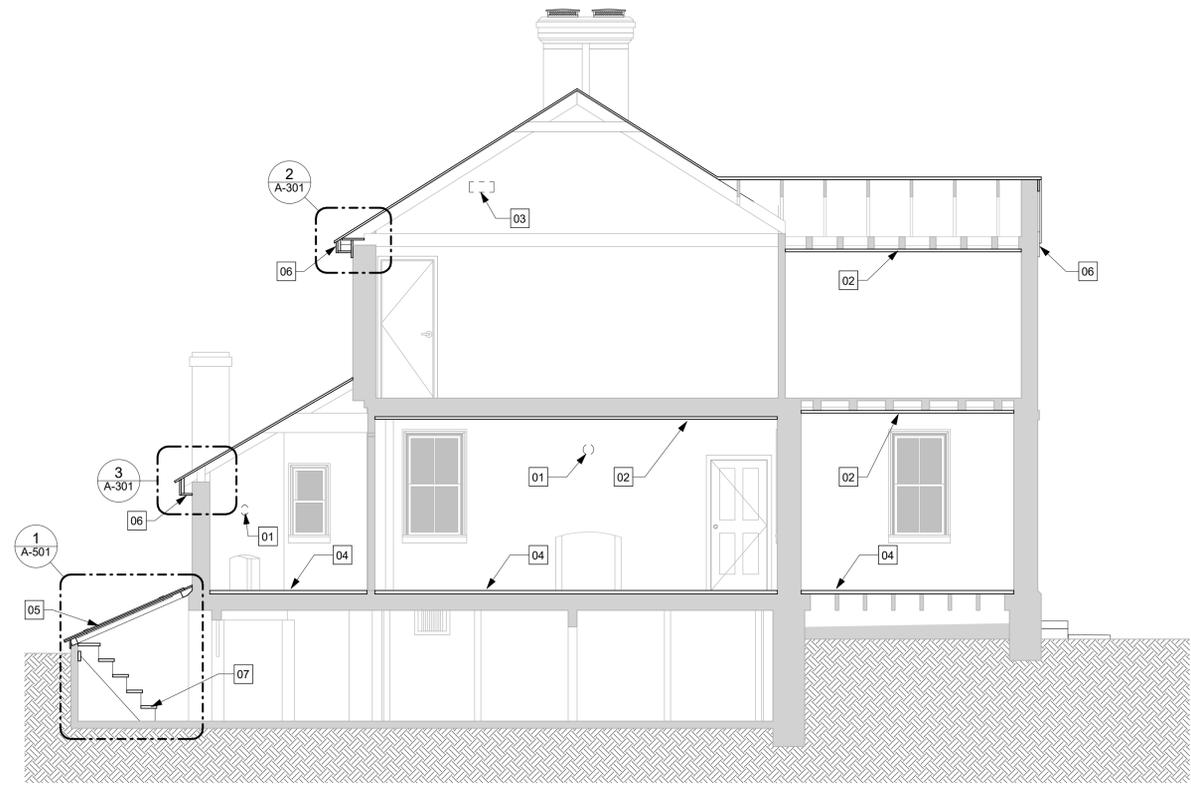
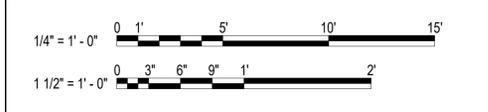


3
 A-301 1 1/2" = 1'-0"

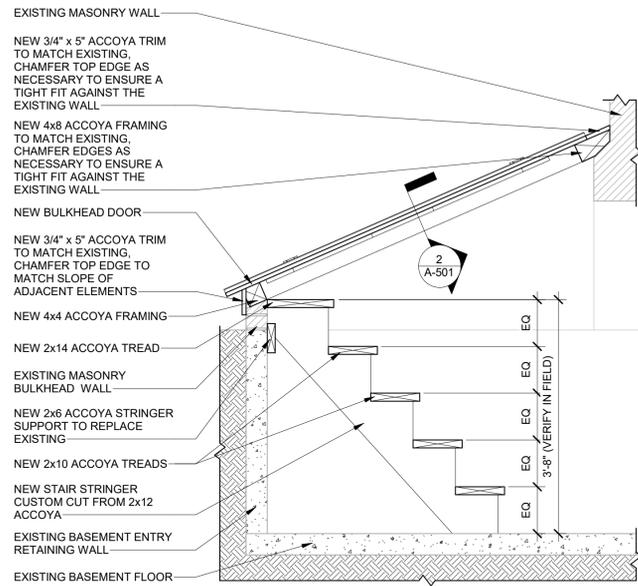
SECTION KEYNOTES

- 01 REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- 02 REMOVE AND REPLACE EXISTING DAMAGED DRYWALL CEILINGS. REINSTALL PREVIOUSLY REMOVED DRYWALL CEILINGS WHERE INDICATED. PROVIDE INSULATION. COORDINATE FIRE DETECTION SYSTEMS AND LIGHTING IN THE WEST ROOM.
- 03 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFJL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- 04 WHERE EXISTING FLOOR BOARDS ARE DETERIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONG-LEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING. LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- 05 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 06 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 07 REMOVE EXISTING CELLAR STAIR. FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.

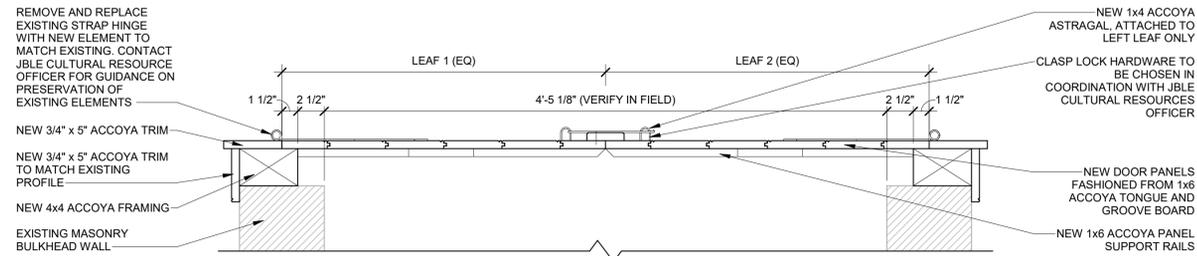
GRAPHIC SCALE(S)



1
 A-301 1/4" = 1'-0"



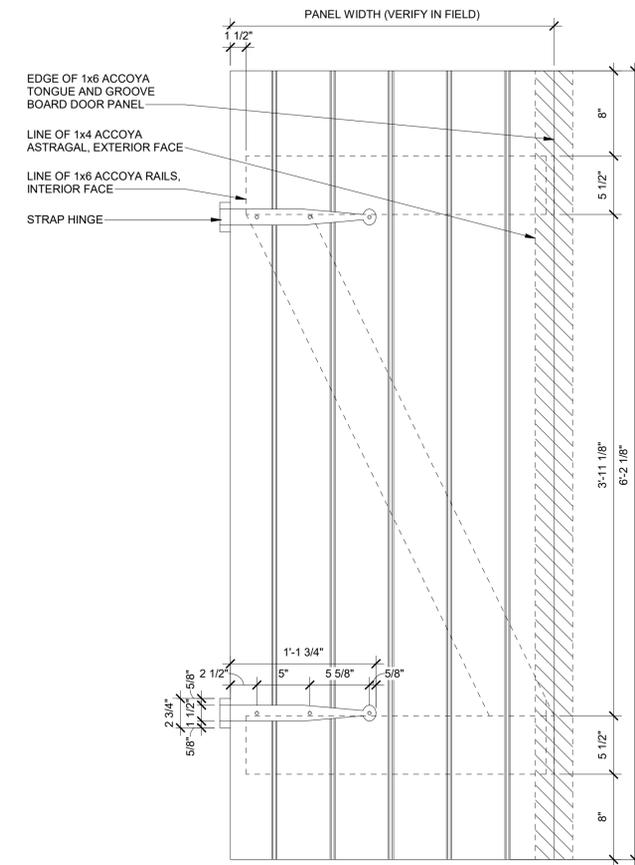
1 BULKHEAD DOOR SECTION
A-501 3/4" = 1'-0"



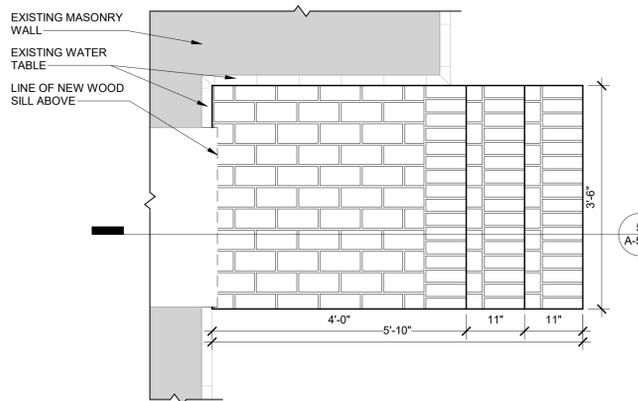
BULKHEAD DOOR LEAF CONSTRUCTION:

- 1x6 ACCOYA RAILS, CHAMFER FACES ADJACENT TO THE INNER EDGE OF THE DOOR AT 45°
- 1x6 ACCOYA TONGUE AND GROOVE BOARD STILES, EVENLY SPACED FROM THE LEAF MIDPOINT AND CUT AS NEEDED
- 1x4 ACCOYA ASTRAGAL, WITH 45° CHAMFERS ON BOTH LENGTHWISE EDGES. EVENLY SPACE OVER THE GAP BETWEEN DOOR LEAFS AND ATTACH TO LEFT DOOR LEAF ONLY

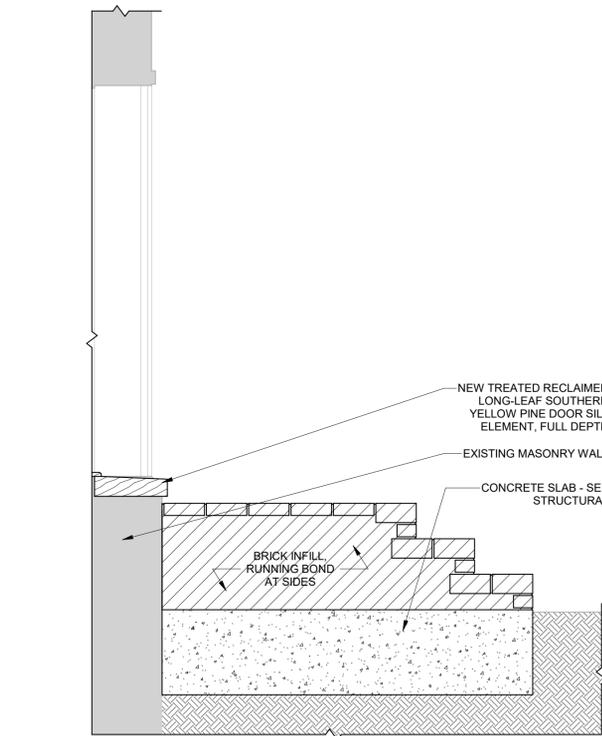
2 BULKHEAD DOOR TRANSVERSE SECTION
A-501 1 1/2" = 1'-0"



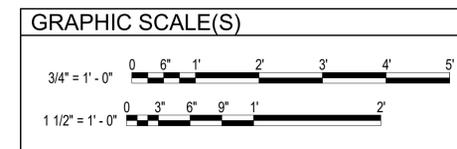
3 BULKHEAD DOOR LEAF DETAIL
A-501 1 1/2" = 1'-0"



4 EAST ENTRY STAIRS - NEW WORK PLAN
A-501 3/4" = 1'-0"



5 EAST ENTRY SILL AND STAIRS
A-501 3/4" = 1'-0"



REVISION SCHEDULE		
#	DESCRIPTION	DATE

DETAILS

100% DESIGN SUBMISSION

COMMONWEALTH OF VIRGINIA

 Timothy Michael Cressy
 Lic. No. 0401018466
 5/15/2025
 ARCHITECT

Date: 5/15/25
 Drawn: JAB Checked: TMC
 Project: 224085