

JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

VICINITY MAP



SITE MAP



GENERAL CONSTRUCTION NOTES

- A. G.C. SHALL INSPECT ALL DRAWINGS IMMEDIATELY UPON RECEIPT & REPORT ANY DISCREPANCIES, CONFLICTS, ERRORS, OR OMISSIONS DISCOVERED. THIS INCLUDES COORDINATION WITH MEP/OTHER TRADES.
- B. G.C. IS RESPONSIBLE FOR ENSURING ALL WORK IS DONE IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS & IN COMPLIANCE WITH ALL BUILDING CODES, ORDINANCES & REGULATIONS OF ALL CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION.
- C. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THESE PLANS & SPECIFICATIONS UNLESS A WRITTEN VARIANCE IS APPROVED BY THE OWNER.
- D. G.C. & ALL SUBCONTRACTORS SHALL VISIT & INSPECT THE PREMISES PRIOR TO SUBMITTING A PROPOSAL. SUBMISSION OF A PROPOSAL CONSTITUTES AN AGREEMENT THAT THE G.C. INCLUDED ALL ITEMS NECESSARY TO ACCOMMODATE THE EXISTING CONDITIONS. ANY CONDITIONS IN CONFLICT WITH THESE DRAWINGS & SPECIFICATIONS SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY UPON DISCOVERY. DESIGNER CANNOT BE HELD RESPONSIBLE FOR ANY HIDDEN CONDITIONS.
- E. G.C. SHALL OBTAIN ALL PERMITS & THE CERTIFICATE OF OCCUPANCY, UNLESS NOTED OTHERWISE.
- F. MATERIALS SHALL BE DELIVERED & STORED IN ORIGINAL, UNOPENED PROTECTIVE PACKAGING. INSPECT LABELS IMMEDIATELY UPON DELIVERY FOR ACCURACY. STORE & INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PREVENT DAMAGE TO MATERIALS & SURROUNDING SURFACES WHEN HANDLING.
- G. G.C. SHALL KEEP A CLEAN & SECURE JOB SITE & TAKE ADEQUATE MEASURES TO PROTECT BUILDING & SITE OCCUPANTS & ITEMS SALVAGED FOR REUSE & IS RESPONSIBLE FOR RETURNING ANY DAMAGED ITEMS TO "LIKE NEW" CONDITION. OCCUPIED/PUBLIC AREAS SHALL BE KEPT CLEAR OF CONSTRUCTION MATERIALS. SECURITY, NOISE, & DUST BARRIERS SHALL BE MAINTAINED BY G.C. BETWEEN AREAS OF CONSTRUCTION & OCCUPIED/PUBLIC AREAS.
- H. G.C. SHALL PERFORM FINAL CLEANING PRIOR TO END USE OCCUPANCY TO INCLUDE: VACUUMING & REMOVAL OF DUST, DEBRIS, OILS, STAINS, FINGERPRINTS, LABELS & WALLCOVERING ADHESIVE.
- I. G.C. IS RESPONSIBLE FOR PROVIDING A COMPLETE & OPERATIONAL SPACE.
- J. WITHIN 30 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE REPRODUCIBLE SCALED AS-BUILTS TO THE OWNER & THE ARCHITECT. THESE AS-BUILTS SHALL REFLECT FINAL FIELD CONDITIONS AT PROJECT COMPLETION.
- K. WITHIN 60 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE THE END USER WRITTEN DOCUMENTATION OF ALL WARRANTIES & RECOMMENDED MAINTENANCE PROCEDURES FOR ALL EQUIPMENT & FINISH MATERIALS.
- L. TO THE BEST OF OUR KNOWLEDGE & INFORMATION, THESE DRAWINGS HAVE BEEN PREPARED IN CONFORMITY WITH ANSI STANDARD A117.1 2009 & ADA TITLE III FOR MAKING BUILDINGS & FACILITIES ACCESSIBLE TO & USABLE BY PERSONS WITH DISABILITIES. ALTERATIONS, EXCEPTIONS & DELETIONS TO THESE RULES BY THE RESIDING JURISDICTION HAVE BEEN ACCOMMODATED TO THE BEST OF OUR KNOWLEDGE.
- M. HOLES & OPENINGS THROUGH WALLS & FLOORS FOR DUCTS, PIPING & VENTILATION SHALL BE CHECKED BY THE CONTRACTOR WHO SHALL VERIFY SIZES & LOCATIONS OF SUCH HOLES OR OPENINGS WITH PLUMBING, HEATING, VENTILATING & ELECTRICAL DRAWINGS & CONTRACTORS.
- N. PENETRATIONS THROUGH FLOOR/CEILING & ROOF/CEILING ASSEMBLIES SHALL BE FIRE RATED NOT LESS THAN THE ASSEMBLY BEING PENETRATED. THE CONTRACTOR SHALL PROVIDE MANUFACTURER TESTED SYSTEMS & DETAILS OR AN ENGINEERED JUDGEMENT FOR EACH TYPE OF PENETRATION REQD TO PERFORM THE WORK.
- O. OMISSIONS: IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED OUT ON THE DRAWINGS OR NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED OUT.
- P. INSTALLATION OF ALL PRODUCTS SHALL BE AS REQUIRED BY THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS AT THE TIME OF PERMITTING.
- Q. CONTROLS & OPERATING MECHANISMS FOR ALL FIXTURES & FURNISHINGS SHALL BE OPERABLE BY A FORCE OF NO GREATER THAN 5 LBF WITH ONE HAND & NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO ACTIVATE CONTROLS.
- R. THE SELECTED CONTRACTOR SHALL SUPPLY ALL MISC. BLOCKING, BRACING, METAL, TRIM, FASTENERS, HARDWARE, ETC AS REQUIRED TO COMPLETE THE WORK HERE-IN.
- S. ALL REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY ADA/ACCESSIBILITY SIGNAGE HAVING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, TO BE INSTALLED IN ACCORDANCE WITH IBC SECTIONS 1011, 1109 & 1110 ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR OR NEAREST ADJACENT WALL. G.C. SHALL PROVIDE & INSTALL SAID SIGNAGE, INCLUDING BUT NOT LIMITED TO: DIRECTIONAL SIGNS, EXIT SIGNS & ACCESSIBLE TOILET FACILITIES.
- T. G.C. SHALL REVIEW SPECIFICATIONS & DRAWINGS & VERIFY LEAD TIMES AT TIME OF BID/PRICING SUBMISSION. FAILURE TO ORDER PRODUCTS IN A TIMELY FASHION SHALL REQUIRE ADHERENCE TO THE SUBSTITUTION REQUIREMENTS DESCRIBED IN THE PROJECT MANUAL.
- U. ITEMS INDICATED AS "SALVAGED" SHALL BE RELOCATED FROM THE EXISTING BUILDING & INSTALLED BY THE CONTRACTOR.
- V. SYSTEMS PROVIDED BY THE OWNER SHALL INCLUDE: DATA, I.T., AV, DOOR ACCESS CONTROLS, & EMERGENCY RESPONSE ALERTING.
- W. G.C. TO PROVIDE REQUIRED FUEL/REFRIGERANT/ELEC./WATER SUPPLY, ROUGH-INS, EXHAUST, INTAKES, DRAINS, ETC. UNDER THE BASE BID FOR ALL EQUIPMENT ITEMS INDICATED IN THE PLANS. THIS SHALL INCLUDE BUT NOT BE LIMITED TO EQUIPMENT & FIXTURES PROCURED & INSTALLED BY THE CONTRACTOR, PROVIDED BY OWNER (WHETHER INSTALLED BY CONTRACTOR OR OWNER).

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GENERAL PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SELECT REPAIRS, REPLACEMENT, AND STRUCTURAL STABILIZATION AT NATIONAL REGISTER OF HISTORIC PLACES (NHRP) SITE 69000342, COMMONLY REFERRED TO AS THE MATTHEW JONES HOUSE. WORK INCLUDES THE CONDITIONAL REPAIR AND REPLACEMENT OF HISTORIC BRICK MASONRY AND ASSOCIATED GROUT, WOOD ELEMENTS, AND METAL HARDWARE, AS WELL AS THE INSTALLATION OF NEW STRUCTURAL ELEMENTS TO STABILIZE AND MAINTAIN THE STRUCTURE.

AS THE BUILDING IS ON THE NATIONAL REGISTER OF HISTORIC PLACES, ALL WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING, AND RECONSTRUCTING HISTORIC BUILDINGS, AS WELL AS WITH THE STANDARDS OUTLINED IN PRESERVATION BRIEF NO. 2: REPOINTING MASONRY JOINTS IN HISTORIC MASONRY BUILDING.

PROJECT TEAM

ARCHITECT

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REVISION SCHEDULE			
#	DESCRIPTION	DATE	INITIALS

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TITLE SHEET

100% DESIGN
SUBMISSION



Date: 5/15/25
Drawn: JAB Checked: TMC
Project: 224085

G-101

ERECTION PROCEDURES, SEQUENCE AND SAFETY:

1.

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIE DOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT AND SHALL REMAIN THE CONTRACTORS' PROPERTY. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.
2.

PROCESSING AND/OR APPROVING SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OR SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, SHALL NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY RESPONSIBILITY FOR SAFETY PROCEDURES. IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOESN'T SUPERVISE CONSTRUCTION.

SHOP DRAWINGS:

1.

SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE GENERAL CONTRACTOR AND REVIEWED BY THE ENGINEER. UNDER NO CIRCUMSTANCES SHALL THE CONTRACT DRAWINGS BE REPRODUCED AND USED AS SHOP DRAWINGS.
2.

THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3.

THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, ETC. TO SET THE STRUCTURAL WORK.
4.

ALL CONTRACTOR MODIFICATIONS (INCLUDING PRODUCTS SUBMISSION) MUST BE IDENTIFIED IN WRITING AS A PROPOSED "AS EQUAL" CHANGE AT TIME OF SUBMISSION.
5.

IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS OR FAILS TO FOLLOW THE ABOVE "AS EQUAL" PROCEDURE, THE ENGINEER (TAM CONSULTANTS, INC.), WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT.
6.

SHOP DRAWINGS ARE REVIEWED BY THE ENGINEER AS A CONVENIENCE TO THE CONTRACT AND ARE NOT A CONTRACT DOCUMENT.

INSPECTION:

1.

SPECIAL INSPECTIONS ARE REQUIRED FOR THE PROJECT IN CONFORMANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) SECTION 1704 AND IBC 2018.
2.

THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE ITEMS LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS AND SCHEDULE FOR SPECIAL INSPECTIONS PREPARED FOR THIS PROJECT.
3.

SPECIAL INSPECTION DOES NOT TAKE THE PLACE OF NORMAL INSPECTIONS REQUIRED BY CODE OFFICIALS. ALL NORMAL INSPECTIONS BY LOCAL CODE OFFICIALS ARE STILL REQUIRED.
4.

THE STRUCTURAL ENGINEER OF RECORD MAY VISIT THE SITE PERIODICALLY TO ASCERTAIN GENERAL CONFORMANCE TO CONTRACT DOCUMENTS. THESE VISITS DO NOT SUBSTITUTE FOR SPECIAL INSPECTIONS, NOR DO THEY IMPLY ACCEPTANCE OF THE WORK. THEY SHOULD NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM OBLIGATIONS AND RESPONSIBILITIES UNDER THE CONSTRUCTION CONTRACT.
5.

THE FOLLOWING ITEMS SHALL BE SHOP-FABRICATED BY A CERTIFIED FABRICATOR WITH A QUALITY ASSURANCE PROGRAM APPROVED BY THE LOCAL BUILDING CODE OFFICIAL TO ALLOW FABRICATION WITHOUT IN-SHOP SPECIAL INSPECTIONS:

a. STRUCTURAL STEEL FRAMING

IF THE FABRICATOR CANNOT SUBSTANTIATE AN ACCEPTABLE QUALITY ASSURANCE PROGRAM FOR THE COUNTY, THE FABRICATOR'S WORK SHALL BE INSPECTED BY AN APPROVED, QUALIFIED AGENCY DURING FABRICATION AT NO ADDITIONAL COST TO THE OWNER.

AT THE CONCLUSION OF THE PROJECT, THE FABRICATOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS COMPLETED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

DESIGN WITHOUT CONSTRUCTION REVIEW:

IT IS AGREED THAT IF TAM CONSULTANTS, INC.'S PROFESSIONAL SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THEN THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS TAM CONSULTANTS, INC., FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. TAM CONSULTANTS, INC., AGREES TO BE RESPONSIBLE FOR ITS OWN OR ITS EMPLOYEES' NEGLIGENCE ACTS, ERRORS OR OMISSIONS.

OWNERSHIP OF DOCUMENTS:

THE CONTRACTOR ACKNOWLEDGES THESE PLANS AND SPECIFICATIONS PREPARED BY TAM CONSULTANTS, INC., AS INSTRUMENTS OF PROFESSIONAL SERVICE. NEVERTHELESS, THE PLANS AND SPECIFICATIONS PREPARED UNDER THIS AGREEMENT SHALL REMAIN THE PROPERTY OF TAM CONSULTANTS, INC. UPON COMPLETION OF THE WORK. THE CONTRACTOR AGREES TO HOLD HARMLESS AND INDEMNIFY TAM CONSULTANTS INC., AGAINST ALL DAMAGES, CLAIMS AND LOSSES, INCLUDING DEFENSE COSTS, ARISING OUT OF ANY REUSE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF TAM CONSULTANTS, INC.

2018 VIRGINIA CONSTRUCTION CODE (VCC) DESIGN LOADS:

USE/LOCATION	LIVE LOAD	DEAD LOAD:
ROOF	20 PSF	15 PSF

SNOW LOAD

- GROUND SNOW LOAD, Pg = 36 PSF
- SNOW EXPOSURE FACTOR, Ce = 1.0
- SNOW LOAD IMPORTANCE FACTOR, I = 1.0
- THERMAL FACTOR, Ct = 1.0

WIND LOAD

- ULTIMATE DESIGN WIND SPEED = 117 MPH
- WIND RISK CATEGORY II
- WIND EXPOSURE D
- INTERNAL PRESSURE COEFFICIENT = +/- 0.18
- COMPONENTS AND CLADDING (LRFD, 10 SOFT):

- ROOF:

ZONE 1: + 35.01 / - 64.42 PSF

ZONE 2: + 35.01 / - 70.66 PSF

ZONE 3: + 35.01 / - 86.87 PSF

ZONE 4: + 38.25 / - 41.49 PSF

ZONE 5: + 38.25 / - 51.21 PSF
- WALLS:

ZONE 4: + 38.25 / - 41.49 PSF

ZONE 5: + 38.25 / - 51.21 PSF

EARTHQUAKE DESIGN DATA

- SEISMIC IMPORTANCE FACTOR, IE = 1.0
- RISK CATEGORY II
- SPECTRAL RESPONSE ACCELERATION, Ss = 0.13g, S1 = 0.042g
- SITE CLASS D
- SPECTRAL RESPONSE COEFFICIENT, SDS = 0.11, SD1 = 0.06
- SEISMIC DESIGN CATEGORY B
- ORDINARY PLAIN MASONRY SHEAR WALLS
- SEISMIC RESPONSE COEFFICIENT, Cs = 0.107
- RESPONSE MODIFICATION FACTOR, R = 1.5

CONCRETE:

1.

ALL CONCRETE WORK SHALL CONFORM TO ALL THE PROVISIONS OF THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301-R85) AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318-19).
2.

ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS NOTED OTHERWISE. THE MAXIMUM SLUMP OF ALL CONCRETE SHALL BE 4". ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 6%±1%
3.

NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED.
4.

THE CONTRACTOR SHALL COMPLY WITH ALL THE PROVISIONS OF "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING" (ACI 305-R10) AND "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING" (ACI 306-R10). THE CONTRACTOR SHALL SUBMIT COLD/HOT WEATHER PROCEDURES FOR APPROVAL.
5.

ALL FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE" SPECIAL PUBLICATION NO. 4 AND ACI'S "STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI 347-LATEST EDITION).
6.

FLOOR SLABS SHALL BE FINISHED TO A MINIMUM FLATNESS F-NUMBER, FF = 25 AND A MINIMUM LEVELNESS F-NUMBER, FL = 20 IN ANY DIRECTION.
7.

CONCRETE STRUCTURES MAY NOT SUPPORT THEIR DESIGN LIVE LOAD UNTIL THE SPECIFIED COMPRESSIVE STRENGTH HAS BEEN ACHIEVED. LOADS GREATER THAN THE DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE. THE CONTRACTOR SHALL SUPPORT ADJACENT STRUCTURES, UTILITIES, AND EXCAVATIONS AS REQUIRED FOR COMPLETION OF WORK.
8.

ONE SET OF COMPRESSIVE TEST CYLINDERS FOR EACH 100 CUBIC YARDS POURED, BUT NOT LESS THAN ONE SET FOR EACH DAY'S PLACEMENT AND EACH CLASS OF CONCRETE, ALONG WITH SLUMP TESTS SHALL BE PERFORMED BY A TESTING LABORATORY APPROVED BY THE STRUCTURAL ENGINEER.
9.

ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 308. STANDARD SPECIFICATION FOR CURING CONCRETE. LIQUID CURING COMPOUNDS SHALL BE COMPATIBLE WITH FLOORING ADHESIVES AND OTHER SURFACE TREATMENTS AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO USE.
10.

ALL CONCRETE LEFT EXPOSED AT THE COMPLETION OF THE PROJECT SHALL BE TREATED WITH A CLEAR, PENETRATING ACRYLIC BASE POLYMER CAPABLE OF PREVENTING INFILTRATION OF WATER BORNE CHLORIDES SUCH AS CONSPEC #1 BY CONSPREC MARKETING & MANUFACTURING COMPANY OR APPROVED EQUAL.

REINFORCING STEEL:

1.

REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A615, GRADE 60.
2.

BENDS SHALL BE FABRICATED AS PER DETAILS.
3.

PLACE MAIN REINFORCING STEEL SO AS TO PROVIDE 3" MINIMUM COVER FOR FOUNDATIONS POURED ON EARTH, 2" MINIMUM COVER FOR BEAMS AND COLUMNS, ¾" MINIMUM COVER FOR SLABS AND 1½" FOR ALL REBAR IN EXPOSED CONCRETE (EXCEPT AS OTHERWISE DETAILED).
4.

ALL BEAM AND SLAB STEEL SHALL HAVE A MINIMUM EXTENSION INTO THE SUPPORTS IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI CODE.
5.

PROVIDE ACCESSORIES AND BAR SUPPORTS IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315-90).
6.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, GRADE 60 UNLESS OTHERWISE NOTED. WWF REINFORCING SHALL BE PLACED AT MID-DEPTH OF SLABS ON GRADE AND DRAPED OVER SUPPORTS IN CONCRETE SLABS ON CENTERING. END LAPS OF ALL WWF REINFORCING SHALL BE 8" MINIMUM.
7.

UNLESS NOTED OTHERWISE, REINFORCING STEEL BAR LAPS SHALL BE AS FOLLOWS

A. CONCRETE:

#3 - 1'-9"

#4 - 2'-4"

#5 - 2'-11"

#6 - 3'-6"

#7 - 4'-1"

#8 - 4'-11"

STRUCTURAL STEEL:

1.

ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL BE IN ACCORDANCE WITH ASTM A992 SPECIFICATIONS (Fy = 50 KSI). ALL OTHER STRUCTURAL STEEL SHAPES SHALL BE IN ACCORDANCE WITH ASTM A36 SPECIFICATIONS (Fy = 36 KSI). TUBES SHALL BE IN ACCORDANCE WITH ASTM A500 GRADE B (Fy = 46 KSI).
2.

ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" OF THE "AMERICAN INSTITUTE OF STEEL CONSTRUCTION".
3.

ALL FIELD BOLTED SHEAR CONNECTIONS SHALL BE BEARING TYPE CONNECTIONS (THREADS INCLUDED IN THE SHEAR PLANE) WITH ¾" DIAMETER ASTM A325 HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL SHEAR CONNECTIONS SHALL BE DESIGNED TO SUPPORT HALF OF THE TOTAL UNIFORM LOAD CAPACITY SHOWN IN THE "TABLES OF ALLOWABLE LOADS ON BEAMS" OF THE CURRENT EDITION OF THE AISC "MANUAL OF STEEL CONSTRUCTION". THE LENGTH OF THE SPAN SHALL BE AS SHOWN ON THE DRAWINGS. THE ABOVE IS NOT REQUIRED IF THE REACTION IS SHOWN ON THE PLANS.
4.

ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" OF THE "AMERICAN INSTITUTE OF STEEL CONSTRUCTION" AND THE LATEST EDITION OF THE "CODE FOR WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY. USE E70XX LOW HYDROGEN ELECTRODES.
5.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STEEL FRAME IN PROPER ALIGNMENT UNTIL BRACING IS IN PLACE TO RESIST LATERAL MOVEMENT OF THE FRAME.
6.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STEEL FRAME IN PROPER ALIGNMENT UNTIL BRACING IS IN PLACE TO RESIST LATERAL MOVEMENT OF THE FRAME.
7.

ALL STRUCTURAL STEEL SHALL BE SHOP PRIMED PRIOR TO DELIVERY TO THE SITE. PRIMING COLOR SHALL BE GRAY.
8.

ALL STRUCTURAL STEEL AND CONNECTIONS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED OR COATED PER ARCHITECTURAL SPECIFICATIONS.

TIMBER:

1.

STRUCTURAL WOOD JOISTS, BEAMS AND HEAVY TIMBER MEMBERS SHALL BE NO. 2 SOUTHERN PINE OR BETTER. STRUCTURAL WOOD RAFTERS AND STUDS SHALL BE NO. 1 / NO. 2 SPRUCE PINE FIR OR BETTER EXCEPT AS NOTED OTHERWISE. MINIMUM PROPERTIES SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) "DESIGN VALUES FOR WOOD CONSTRUCTION".
2.

LUMBER SHALL BE KILN-DRIED TO 15% MOISTURE CONTENT AFTER TREATMENT.
3.

ENGINEERED LUMBER JOISTS, HEADERS AND BEAMS SHALL CONFORM TO THE PREFABRICATED I-JOISTS AND MICROLAM LAMINATED VENEER LUMBER (LVL) AS MANUFACTURED BY GEORGIA-PACIFIC. LVL PRODUCTS SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 1.9 KSI AND FLEXURAL STRESS OF 2.75 KSI.
4.

WOOD STRUCTURAL PANELS FOR SHEATHING AND SUBFLOOR SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

• FLOOR: 23/32" APA RATED STURD-I-FLOOR, 24" O.C., EXPOSURE 1, GROUP 1, GLUED AND NAILED TO WOOD JOISTS AT 16" O.C. OR 24" O.C.

• WALLS: 15/32" APA RATED SHEATHING 32/16 EXPOSURE 1

• ROOF: 19/32" APA RATED SHEATHING, 40/20, EXTERIOR, GROUP 1 -- PROVIDE PLYWOOD SHEATHING CLIPS AT 16" ON CENTER WHERE EDGES OF PANELS ABUT ONE ANOTHER.
5.

WALL SHEATHING SHALL BE NAILED TO FRAMING USING 8d COMMON NAILS AT 6" O.C. FOR ALL PANEL EDGES AND AT 12" O.C. IN THE FIELD UNLESS NOTED OTHERWISE. FOR PANELS USED IN SHEAR WALLS, SEE SHEAR WALL SCHEDULE FOR NAILING PATTERNS AND OTHER REQUIREMENTS.
6.

ROOF SHEATHING SHALL BE NAILED TO FRAMING USING 10d COMMON NAILS AT 6" O.C. FOR ALL PANEL EDGES AND AT 12" O.C. IN THE FIELD UNLESS NOTED OTHERWISE.
7.

ALL LUMBER, BLOCKING, FURRING AND OTHER WOOD IN CONTACT WITH CONCRETE, MASONRY, THE GROUND OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED WITH WATER-BORNE PRESERVATIVES IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS' INSTITUTE STANDARD (AWPA) P5.
8.

COAT ALL CUT SURFACES OF TREATED LUMBER WITH AN APPROVED PRESERVATIVE.
9.

COORDINATE WITH ARCHITECTURAL DRAWINGS FOR ROOF SLOPES, PITCHES AND WORKING POINTS. COORDINATE WITH MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ALL ROOF OPENING SIZES AND LOCATIONS. PROVIDE MEMBERS AND HEADERS AT ALL OPENINGS WIDER THAN MEMBER SPACING. CONNECT HEADERS TO SUPPORTING MEMBERS WITH STEEL HANGERS.
10.

WHERE WOOD JOISTS FRAME INTO BEAMS, USE 16 GAUGE DIAGONAL X-BRIDGING BETWEEN ALL FLOOR JOISTS OR TRUSSES AT 8'-0" ON CENTER AND BETWEEN ALL ROOF JOISTS OR TRUSSES AT 10'-0" ON CENTER MAXIMUM.
11.

ALL ROOF TRUSSES WITH OVERHANGS, ALL ROOF RAFTERS IN CATHEDRAL CEILING AREAS, ALL FLOOR JOISTS/TRUSSES IN EXTERIOR BALCONIES. EVERYWHERE FIRST FLOORS AND DECKS ARE ELEVATED ABOVE THE PERIMETER GRADE ELEVATIONS AND ALL OTHER HORIZONTAL SURFACES EXPOSED TO WIND UPLIFT SHALL BE SECURED TO THE BUILDING FRAMING WITH 18 GAUGE HURRICANE ANCHORS AND 10d NAILS.
12.

PREFABRICATED WOOD FLOOR OR ROOF TRUSSES SHALL BE DESIGNED PER THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (TPI 1-2014) AS PREPARED PER THE TRUSS PLATE INSTITUTE, INC.
13.

PREFABRICATED WOOD TRUSSES SHALL BE CUSTOM DESIGNED TO FIT THE DIMENSIONS AND LOADS INDICATED ON THE PLANS. ALL DESIGNS SHALL BE IN ACCORDANCE WITH THE ALLOWABLE LOAD VALUES SHOWN ON THE PLANS.
14.

ALL PREFABRICATED WOOD TRUSSES SHALL HAVE ERECTION BRACING, STRUT BRACING AND BRIDGING AS REQUIRED BY THE MANUFACTURER TO RESIST ALL CONSTRUCTION AND BUILDING LOADS.
15.

SHOP DRAWINGS FOR PREFABRICATED WOOD TRUSSES SHALL INCLUDE DESIGN CALCULATIONS, LOADING CONDITIONS, MEMBER FORCES, INTERNAL CONNECTIONS, TIE-DOWN FORCES AND STRESS CONTROL POINTS, AND SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER AND SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL.
16.

ALL CONNECTIONS OF BEAM, BEAMS TO COLUMNS, BRACING TO STRUCTURE AND COLUMNS TO FOUNDATIONS SHALL BE ACCOMPLISHED USING STEEL CONNECTIONS OF TYPES SHOWN ON THESE DRAWINGS. ALL PLATES AND BARS USED IN THESE CONNECTIONS SHALL BE FABRICATED FROM STRUCTURAL STEEL CONFORMING TO ASTM A-36 WITH BOLTS CONFORMING TO ASTM A-307.
17.

ALL CONNECTIONS INCLUDING PLATES, DOWELS, BOLTS AND NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED. ALL CONNECTION HARDWARE IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED AND RATED FOR THE TREATMENT USED.

FOUNDATION UNDERPINNING:

1.

A SOIL BEARING CAPACITY IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. A GEOTECHNICAL REPORT IS TO BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF FOUNDATION UNDERPINNING. UNDERPINNING FOOTING ELEVATIONS AND DEPTH SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER.

GENERAL NOTES FOR THE RESTORATION OF THE MASONRY WALLS:

1.

EACH BIDDING CONTRACTOR SHALL CERTIFY TO THE DESIGN PROFESSIONAL THAT THEY HAVE A MINIMUM OF 5 YEARS EXPERIENCE WITH THE REPAIR OF HISTORICAL MASONRY BUILDINGS.
2.

EACH BIDDING CONTRACTOR SHALL INVESTIGATE THE ON SITE CONDITIONS OF THIS WORK TO FULLY UNDERSTAND THE SCOPE OF THE WORK. EXAMPLE: THERE ARE SEVERAL TYPES OF MASONRY HEREON THAT WILL REQUIRE A SPECIFIC MORTAR STRENGTH, TEXTURE AND COLOR. MATCH EXISTING JOINT WIDTHS AND PROVIDE NEW BRICK TO MATCH. PROVIDE THE DESIGN PROFESSIONAL WITH A REPRESENTATIVE MOCK UP OF EACH TYPE OF MASONRY. AND SILL WORK FOR THEIR APPROVAL. APPROVED MOCKUPS SHALL BE THE BENCHMARK FOR ALL WORK.
3.

PROVIDE A UNIT PRICE FOR EACH TYPE OF MASONRY WORK DENOTED ON THESE PLANS TO ALLOW FOR THE POSSIBLE ADD OR DEDUCT IN THE WORK ON THIS PROJECT.
4.

SEE THE ELEVATIONS FOR THE EXTENT OF REPOINTING WORK REQUIRED ON THIS PROJECT. ALL EXISTING MASONRY WORK SHALL BE REPOINTED AS SHOWN FOR THE GIVEN AREAS ON THE DRAWING ELEVATIONS. SUBMIT FOR APPROVAL ALL PROPOSED MORTAR MIXES FOR EACH CONDITION IDENTIFIED ON THE PLANS AND ON SITE. FOLLOW ASTM E2260 - 03(2012)1e1, STANDARD GUIDE FOR REPOINTING HISTORIC MASONRY AND THE NATIONAL PARK SERVICE TECHNICAL PRESERVATION BRIEF #2, REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS. SEE REFERENCES AT:

<http://www.nps.gov/lps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

5.

WHERE THEY OCCUR, FILL ALL ANCHOR HOLES FROM ABANDONED FASTENERS IN EXISTING BRICK MASONRY AND CONCRETE WITH AN EPOXY MORTAR COLORED TO MATCH THE ADJACENT MATERIAL'S COLOR AND TEXTURE. REMOVE EXISTING FASTENERS AND ACCESSORIES TO PROPERLY PERFORM THIS WORK. SEE REFERENCE AT:

<http://www.gsa.gov/portal/content/113470>
(Mortar Patching Holes in Stone Masonry)

6.

CLEAN ALL EXTERIOR MASONRY AND STONE WORK BEFORE AND AFTER REPAIRS ARE MADE TO THESE ELEMENTS AND REPOINTING WORK HAS BEEN CLEANED AND CURED TO ACCEPTABLE LIMITS. USE A NON-IONIC DETERGENT FOR GENERAL CLEANING AND APPROVED CHEMICAL CLEANERS FOR: STAINING, GRAFITTI, PAINTS, SEALANT AND OTHER COATINGS. FOLLOW SUGGESTIONS FROM THE NATIONAL PARKS SERVICE TECHNICAL PRESERVATION SERVICES. SEE REFERENCES AT:

<http://www.nps.gov/lps/how-to-preserve/briefs/1-cleaning-water-repellent.htm>

8.

THE CONTRACTOR SHALL PROVIDE THE DESIGN PROFESSIONAL AND OWNER WITH A MEANS OF PERFORMING A CLOSE-UP INSPECTION OF THE BRICK WORK AS A MEANS OF FURTHER QUANTIFYING THESE EFFORTS IF THE NEED ARISES.

9.

CONTRACTOR SHALL REMOVE OR TRIM LANDSCAPING AS REQUIRED FOR ACCESS. OBTAIN APPROVAL PRIOR TO WORK.

MATERIAL SPECIFICATIONS FOR THE MASONRY WALL EFFORTS

MASONRY:

1.

ALL MORTAR USED FOR REPOINTING SHALL MATCH EXISTING MORTAR JOINTS IN COMPRESSIVE STRENGTH, COLOR, AND FINISH.
2.

100% OF IN SCOPE BRICK MASONRY MORTAR JOINTS (HORIZONTAL AND VERTICAL) SHALL BE FILLED 100% WITH MORTAR.
3.

JAHN M110 JB HISTORIC BRICK TYPE O, MAX 350 PSI COMPRESSIVE STRENGTH, POINTING MORTAR TO BE USED FOR REPOINTING OR APPROVED EQUAL.
4.

REFER TO REPOINTING DETAILS ON PAGE S3.03 FOR MORE INFORMATION

BRICK MASONRY PATCH REPAIR MORTAR

1.

PATCHING MATERIAL SHALL BE JAHN M100 REPAIR MORTAR. COLOR TO MATCH EXISTING BRICK MASONRY
2.

INSTALLATION TO ACCURATELY FOLLOW MANUFACTURERS INSTRUCTIONS

MASONRY CLEANING

1.

CATHEDRAL STONE PRODUCTS BIO-CLEANER TO BE USED OR APPROVED EQUAL
2.

NYLON BRISTLE BRUSH TO BE USED WITH CLEANING PRODUCT

OWNER APPROVAL

OWNER SHALL REVIEW & APPROVE A MOCK UP OF TUCK POINTING, BRICK MASONRY PATCH REPAIRS, AND ALL OTHER WORK TASKS PRIOR TO THE INSTALLATION OF ANY MATERIALS THROUGHOUT THE BUILDING. OWNER TO REVIEW COLOR AND FINISH OPTIONS FOR ALL WORK TASKS PRIOR TO COMMENCEMENT OF WORK.

ABBREVIATIONS

A.B.	-	ANCHOR BOLT
ARCH.	-	ARCHITECT, ARCHITECTURAL
BLDG.	-	BUILDING
B.O.S.	-	BOTTOM OF STEEL
CLR.	-	CLEAR
COL.	-	COLUMN
CFS	-	COLD FORMED STEEL
DET.	-	DETAIL
DIA.	-	DIAMETER
E.F.	-	EACH FACE
EL.	-	ELEVATION
E.W.	-	EACH WAY
EXIST.	-	EXISTING
F.F.	EL.	FINISH FLOOR ELEVATION
F.O.	-	FACE OF
FTG.	-	FOOTING
GWB	-	GYPSUM WALL BOARD
HORIZ.	-	HORIZONTAL
LLV	-	LONG LEG VERTICAL
LLH	-	LONG LEG HORIZONTAL
O.C.	-	ON CENTER
O.H.	-	OPPOSITE HAND
PL.	-	PLATE
REINF.	-	REINFORCING, REINFORCED
SIM.	-	SIMILAR
T.O.F.	-	TOP OF FOOTING
T.O.S.	-	TOP OF STEEL
TYP.	-	TYPICAL
U.N.O.	-	UNLESS NOTED OTHERWISE
VERT.	-	VERT.
W	-	WITH
W/O	-	WITHOUT

SHEET INDEX

S0.01	GENERAL STRUCTURAL NOTES
S1.01	FOUNDATION PLAN & DETAILS
S2.01	WEST WALL - LATERAL BRACING
S2.02	ROOF FRAMING PLAN & DETAILS
S3.01	EXTERIOR ELEVATIONS
S3.02	INTERIOR ELEVATIONS
S3.03	MASONRY & CONCRETE DETAILS

JBLE MATTHEW JONES HOUSE

OWNER

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23004

REVISION SCHEDULE

REVISION	DESCRIPTION	DATE	INITIALS
1.			
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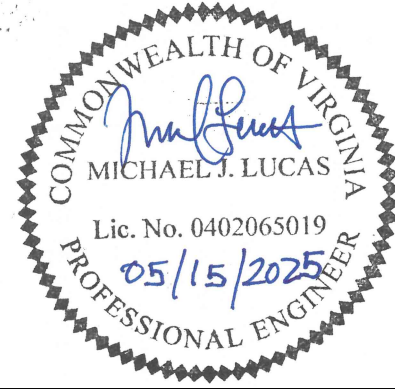
GENERAL STRUCTURAL NOTES

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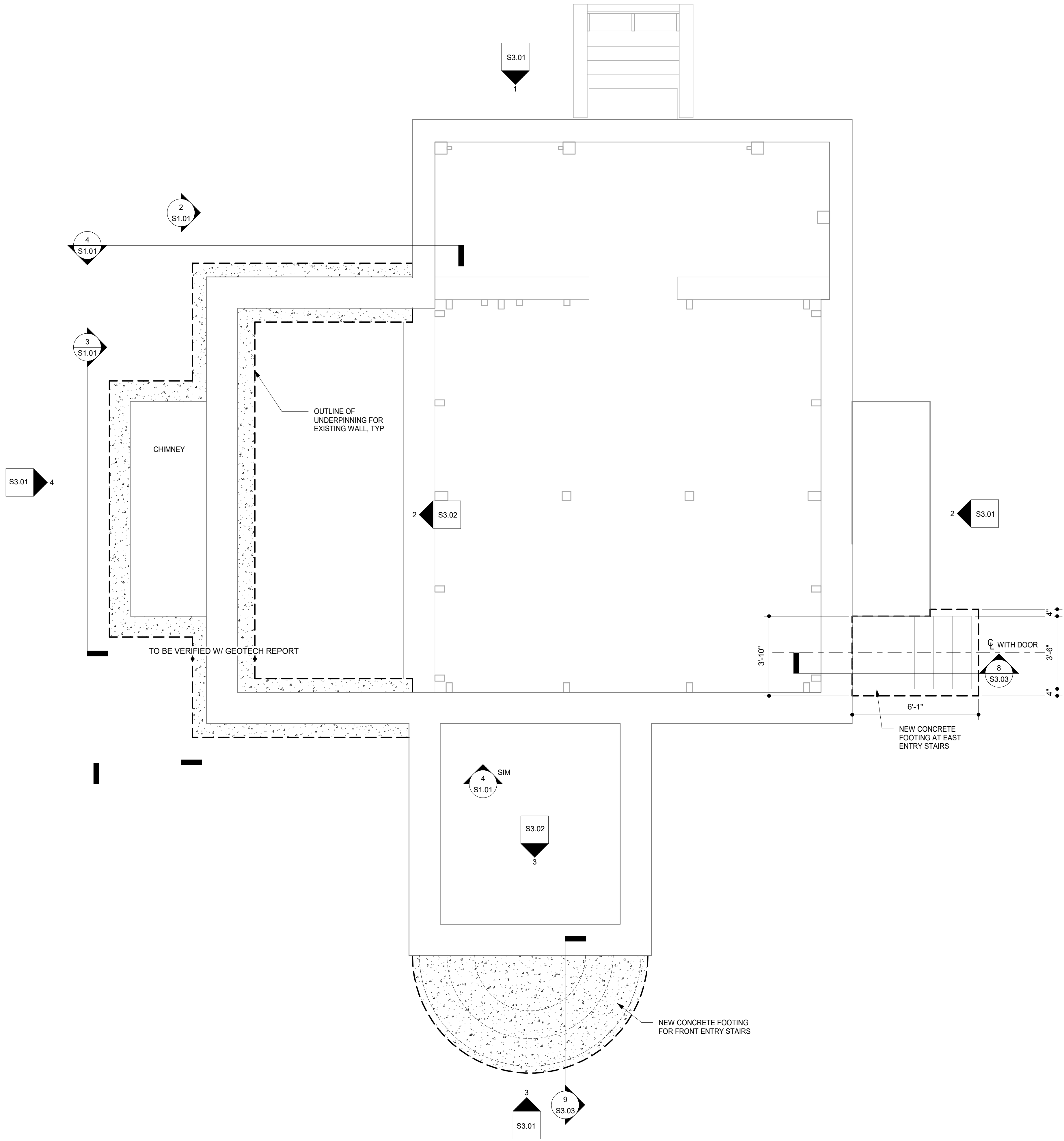
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Project: MB246004

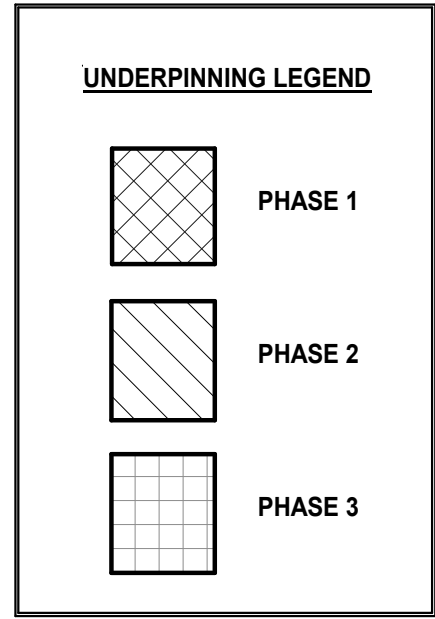
S0.01

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1 FOUNDATION PLAN
S1.01 3/8" = 1'-0"

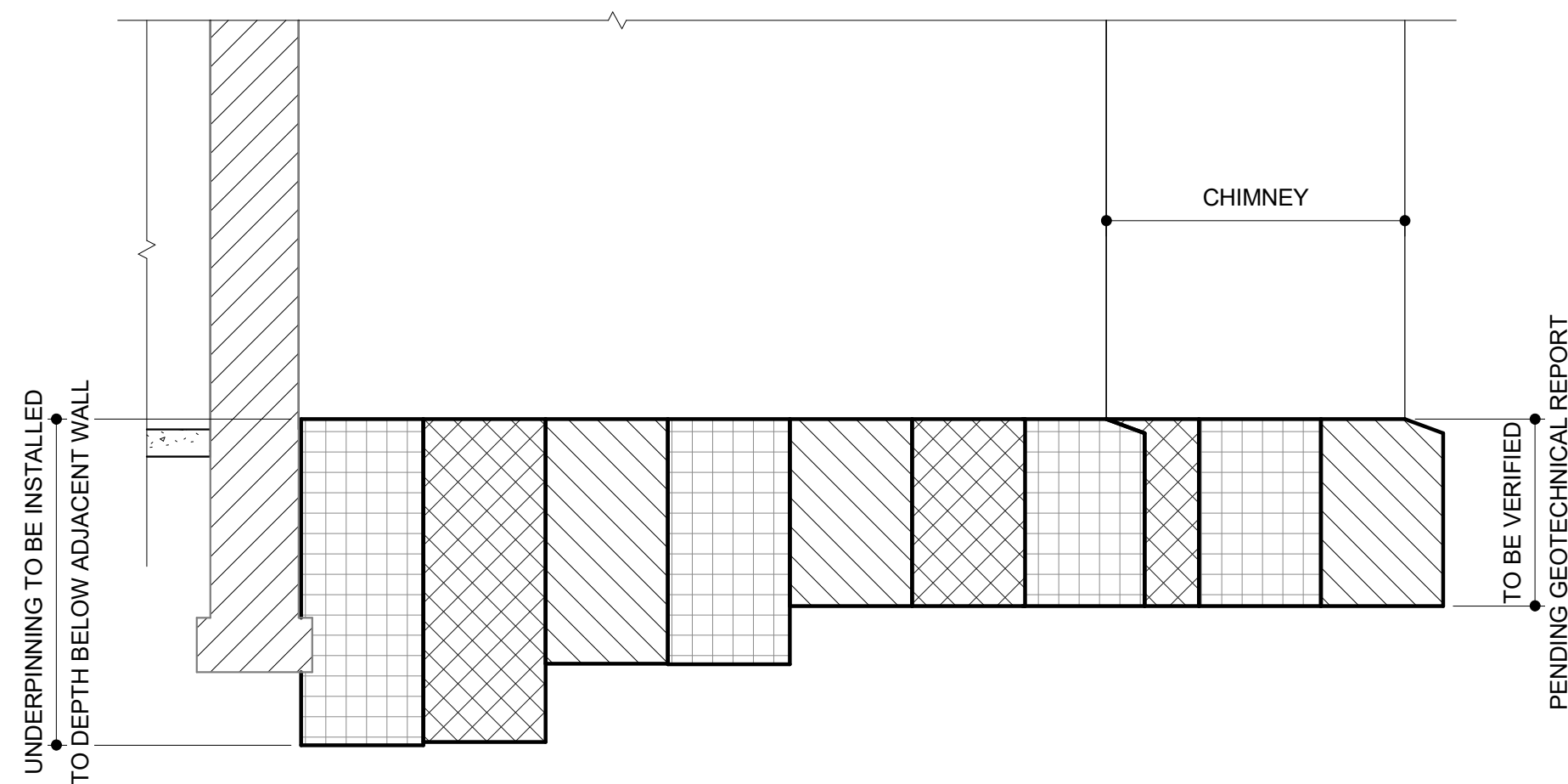


2 UNDERPINNING - WEST GABLE END WALL
S1.01 1/2" = 1'-0"



- UNDERPINNING NOTES:
- UNDERPINNING SHALL BE PERFORMED IN AT LEAST THREE (3) PHASES TO PREVENT UNDERMINING OF THE EXSITING STRUCTURE.
 - 2 FT WIDE PITS SHALL BE EXCAVATED TO ALLOW INSTALLATION OF THE CONCRETE FOR UNDERPINNING. LEAVE AT LEAST 4FT OR TWO (2) TIMES THE DEPTH OF EXCAVATION OF UNDISTURBED SOIL BETWEEN ANY TWO OPEN PITS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SUPPORTS, ETC. AS REQUIRED TO SAFELY MAINTAIN THE EXCAVATION DURING THE WORK.
 - DRY-PACK 2,000 PSI MINIMUM STRENGTH NON-SHRINK GROUT INTO THE GAP BETWEEN THE TOP OF THE EXISTING WALL. CLEAN THE EXISTING SURFACES BEFORE PACKING GROUT.

3 UNDERPINNING - WEST CHIMNEY WALL
S1.01 1/2" = 1'-0"



4 UNDERPINNING - NORTH WALL
S1.01 1/2" = 1'-0"

REVISION SCHEDULE		
#	DESCRIPTION	DATE INITIALS

FOUNDATION PLAN & DETAILS

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Lic. No. 0402065019
05/15/2025
PROFESSIONAL ENGINEER

Date: 5/15/25
Drawn: MJL Checked: TPJ
Project: MB246004

S1.01

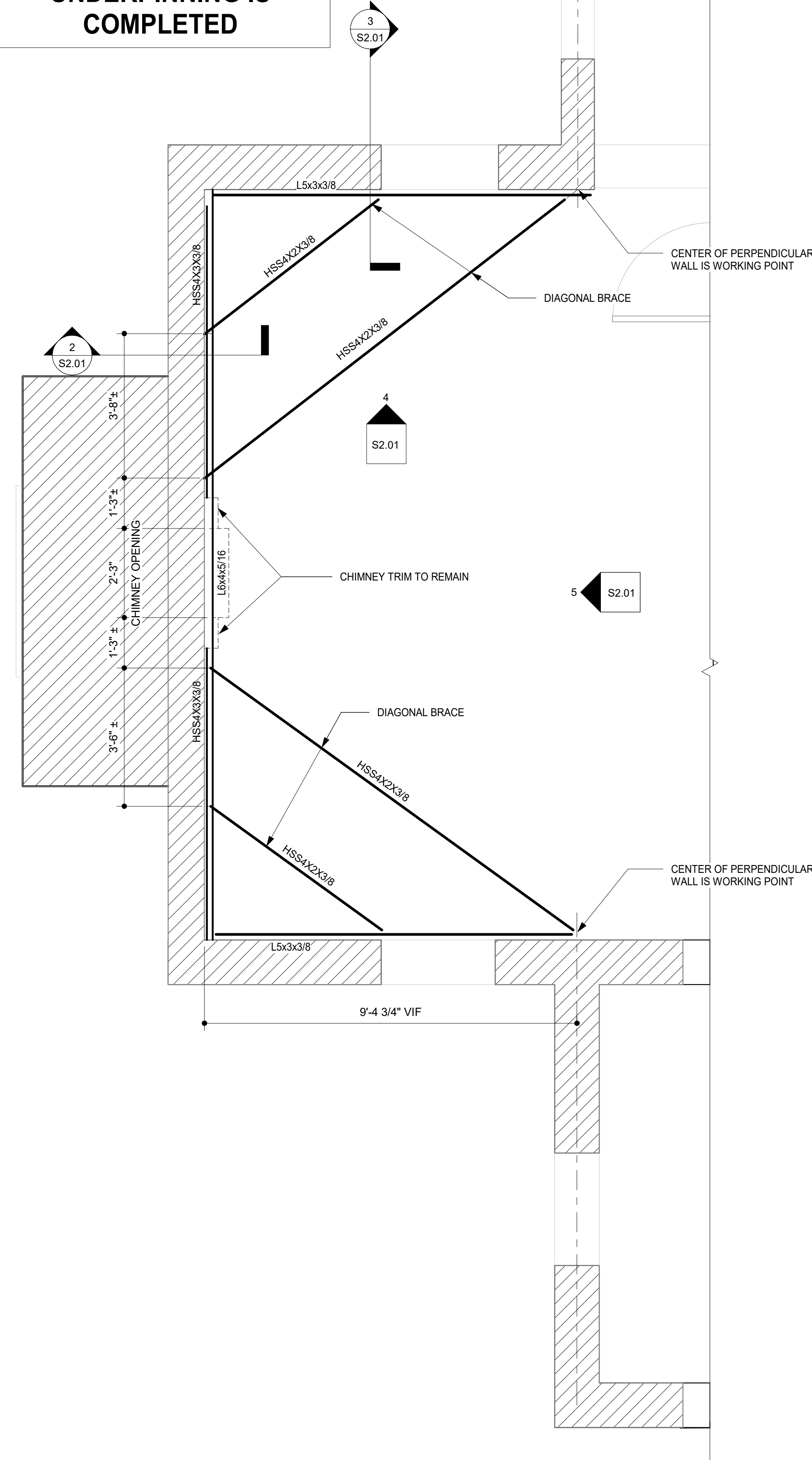
JBLE MATTHEW JONES HOUSE

OWNER
JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

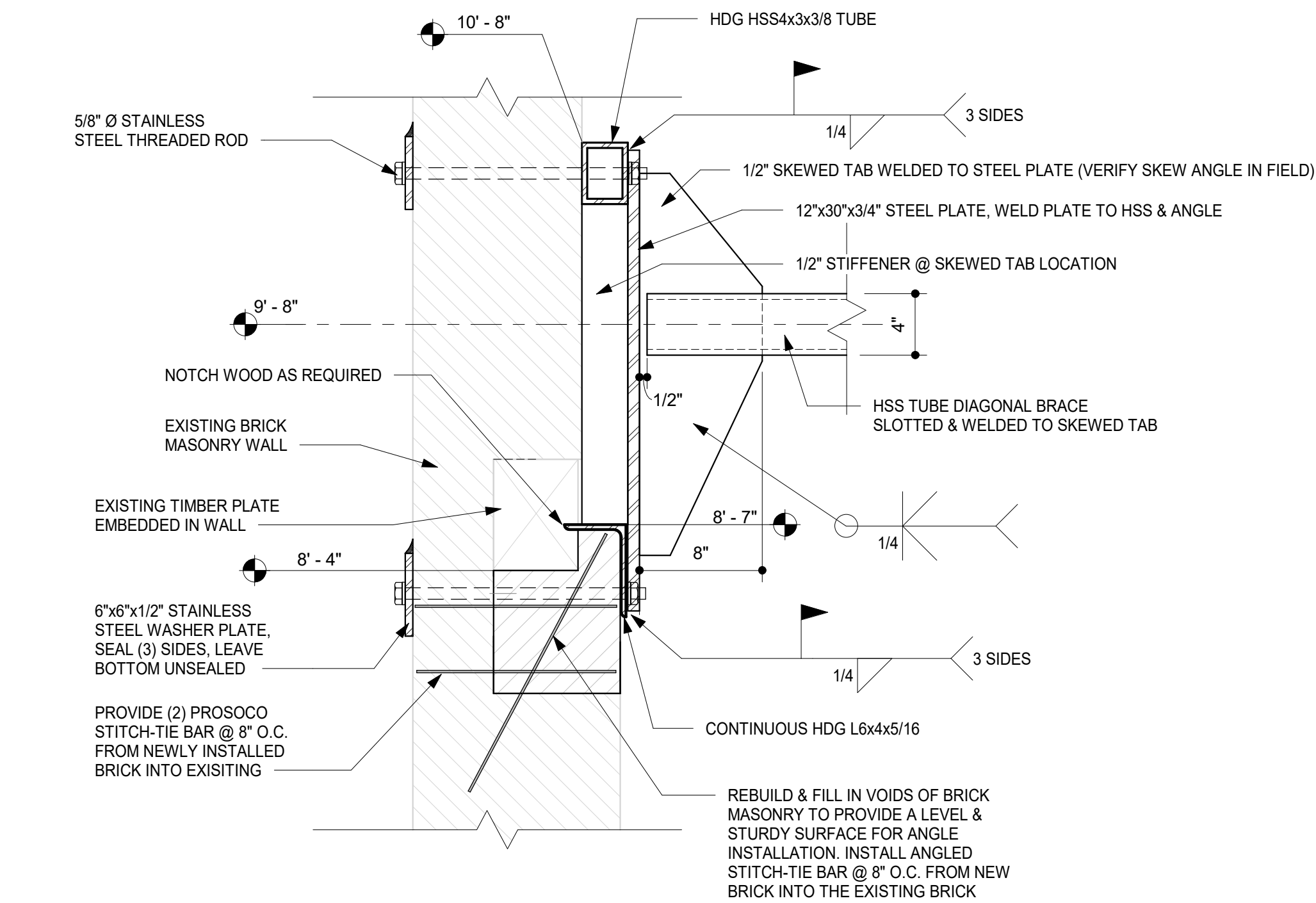
GuernseyTingle

757-220-0020 WILLIAMSBURG, VA
guernseytingle.com

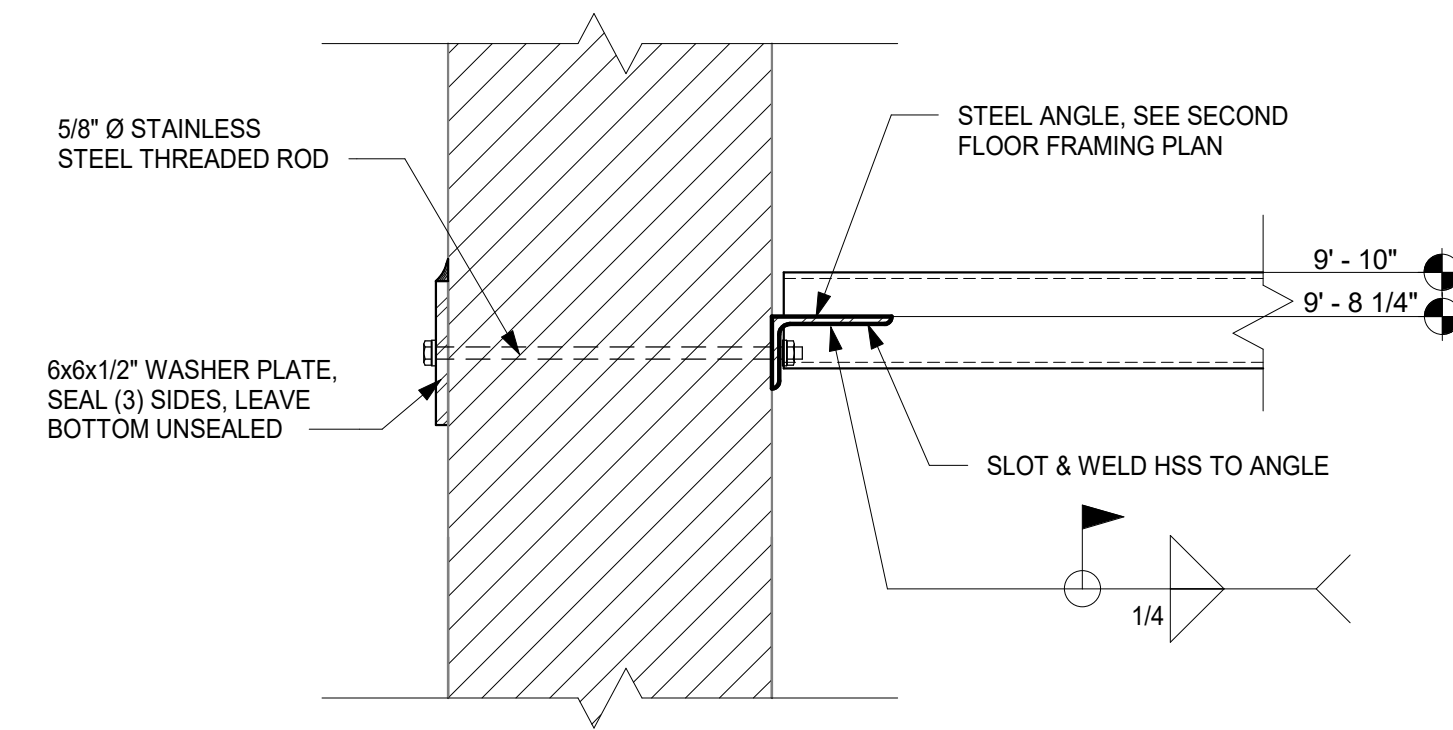
**THE LATERAL BRACE IS
TO BE INSTALLED AFTER
MASONRY REPAIRS AND
UNDERPINNING IS
COMPLETED**



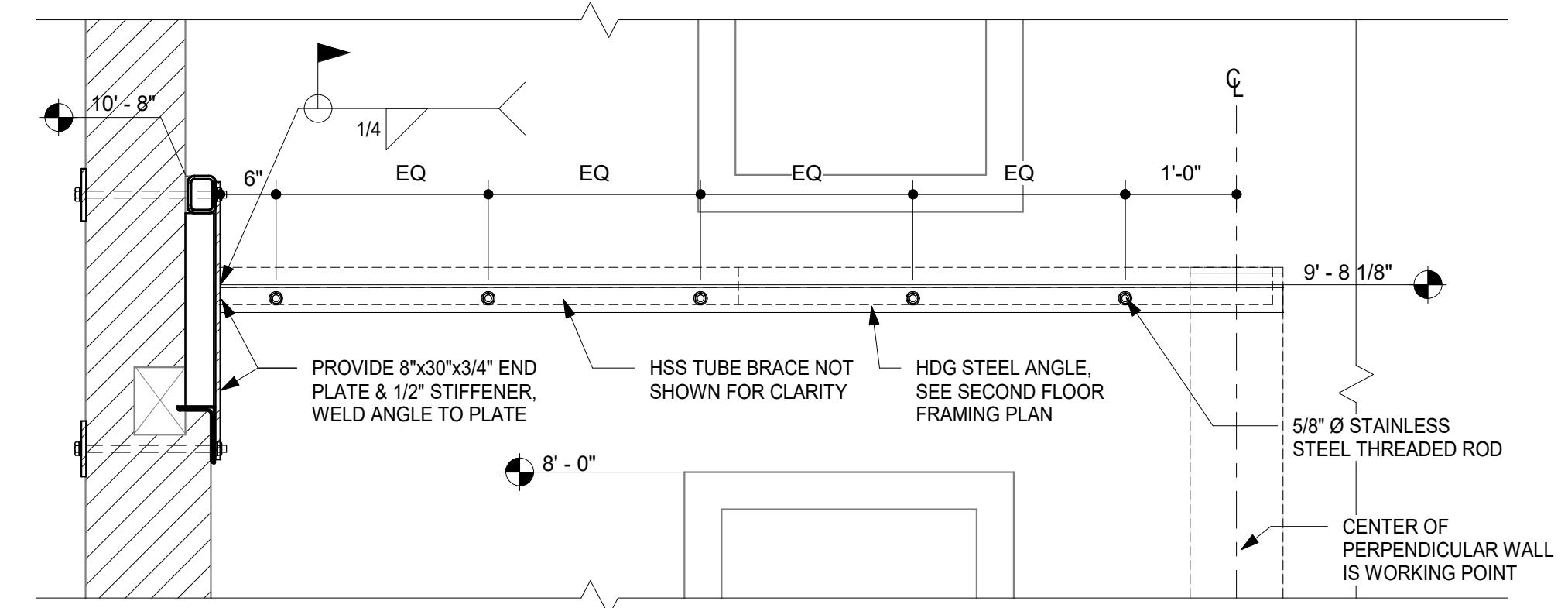
1 SECOND FLOOR FRAMING PLAN
S2.01 1/2" = 1'-0"



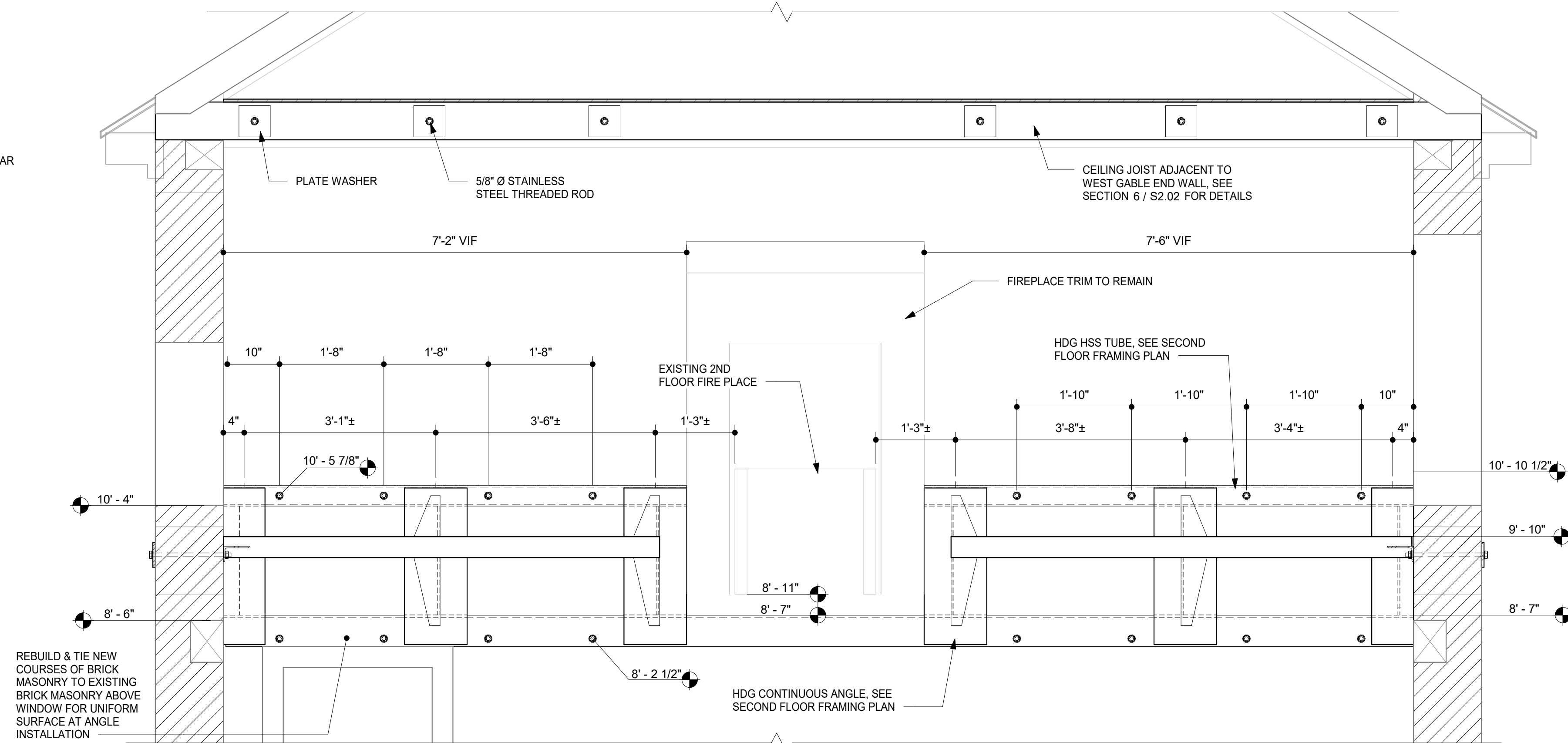
2 BRACE TO GABLE WALL SECTION
S2.01 1 1/2" = 1'-0"



3	BRACE TO WALL SECTION
S2.01	1 1/2" = 1'-0"



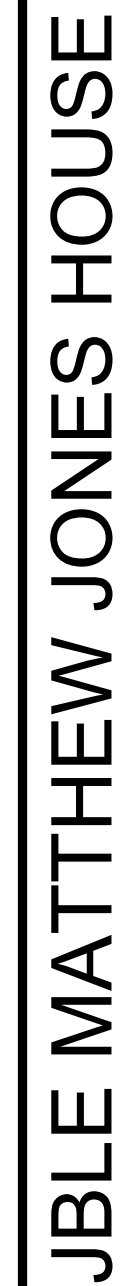
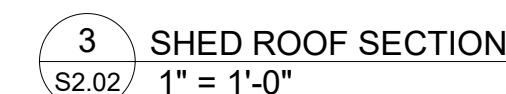
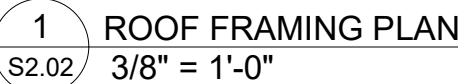
4	NORTH WALL - INTERIOR BRACE
S2.01	3/4" = 1'-0"



5	WEST WALL - INTERIOR W/ BRACE
S2.01	3/4" = 1'-0"

[illegible]

ALL RAFTER TO TOP PLATE
CONNECTION TO BE SUPPLEMENTED
& REINFORCED, SEE DETAIL _____



OWNER
JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

[illegible]

ROOF FRAMING PLAN & DETAILS

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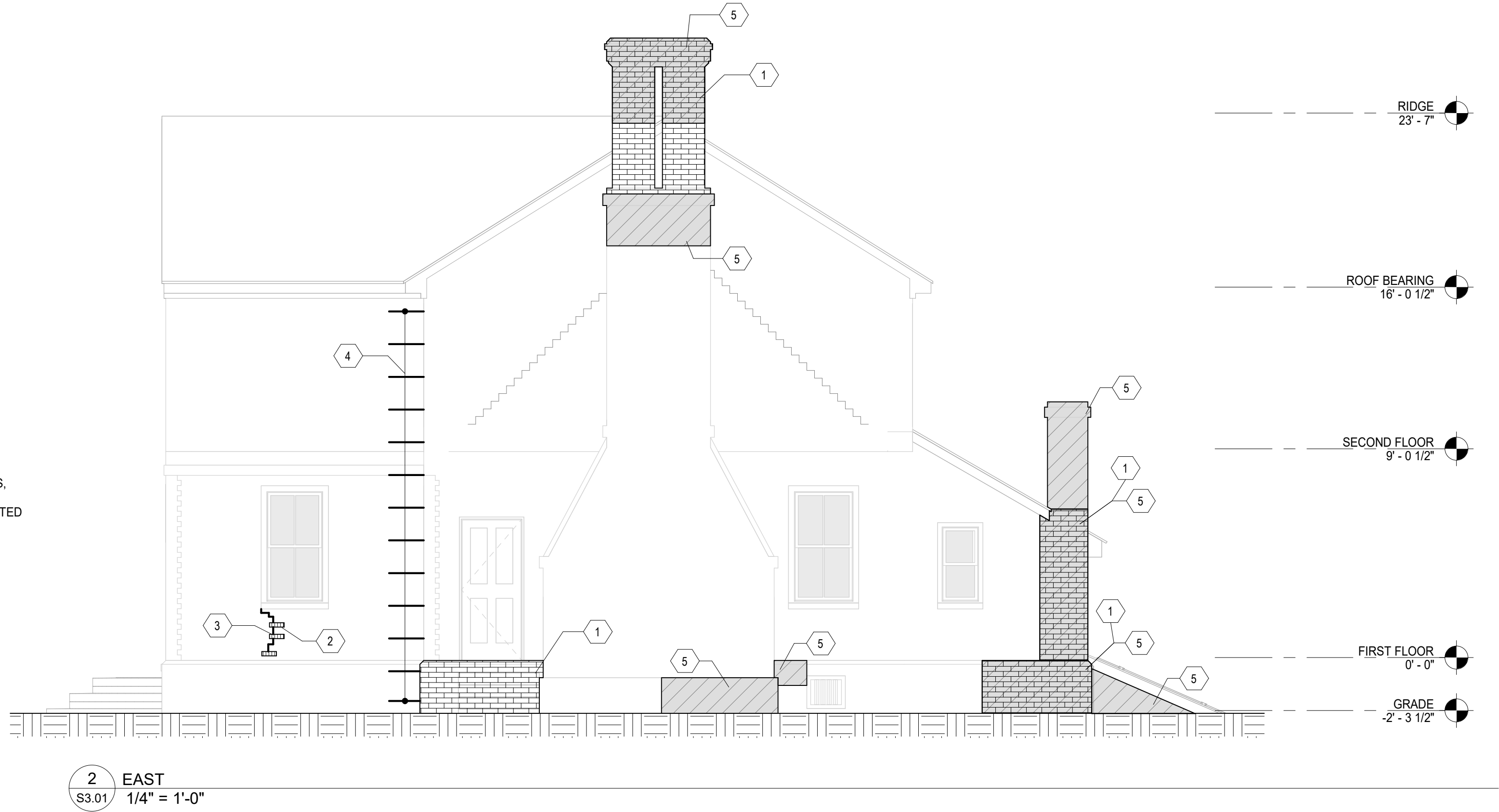
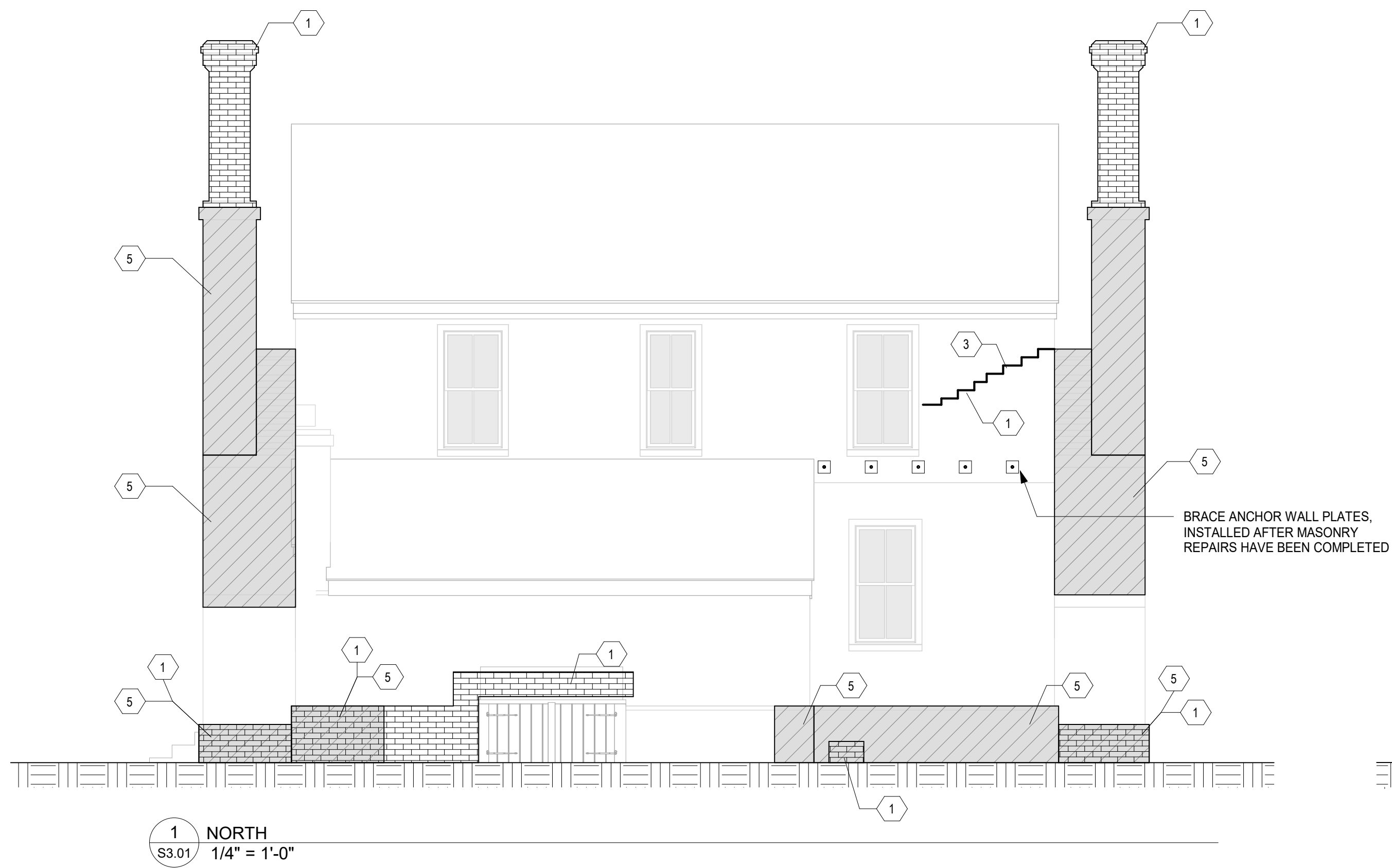
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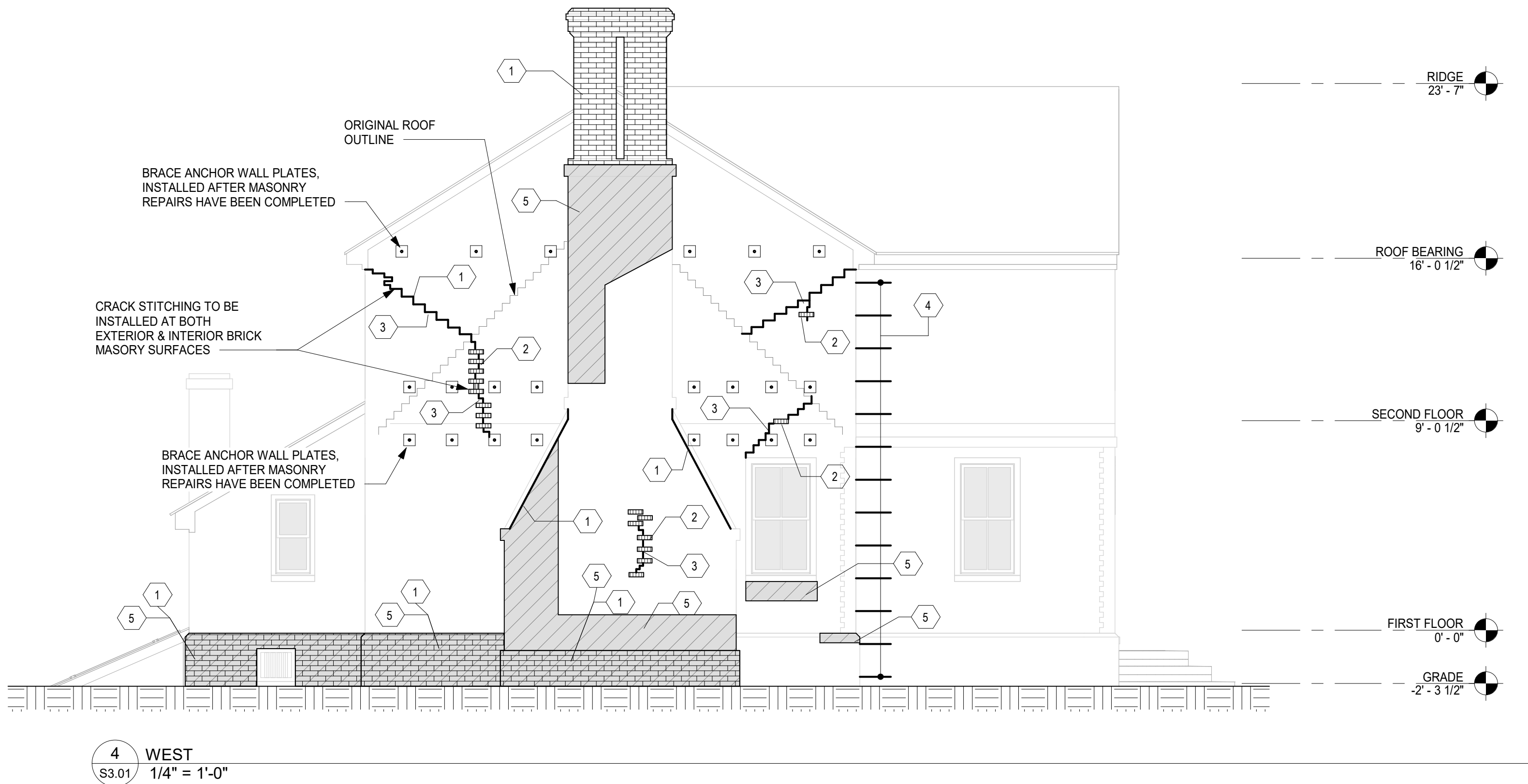
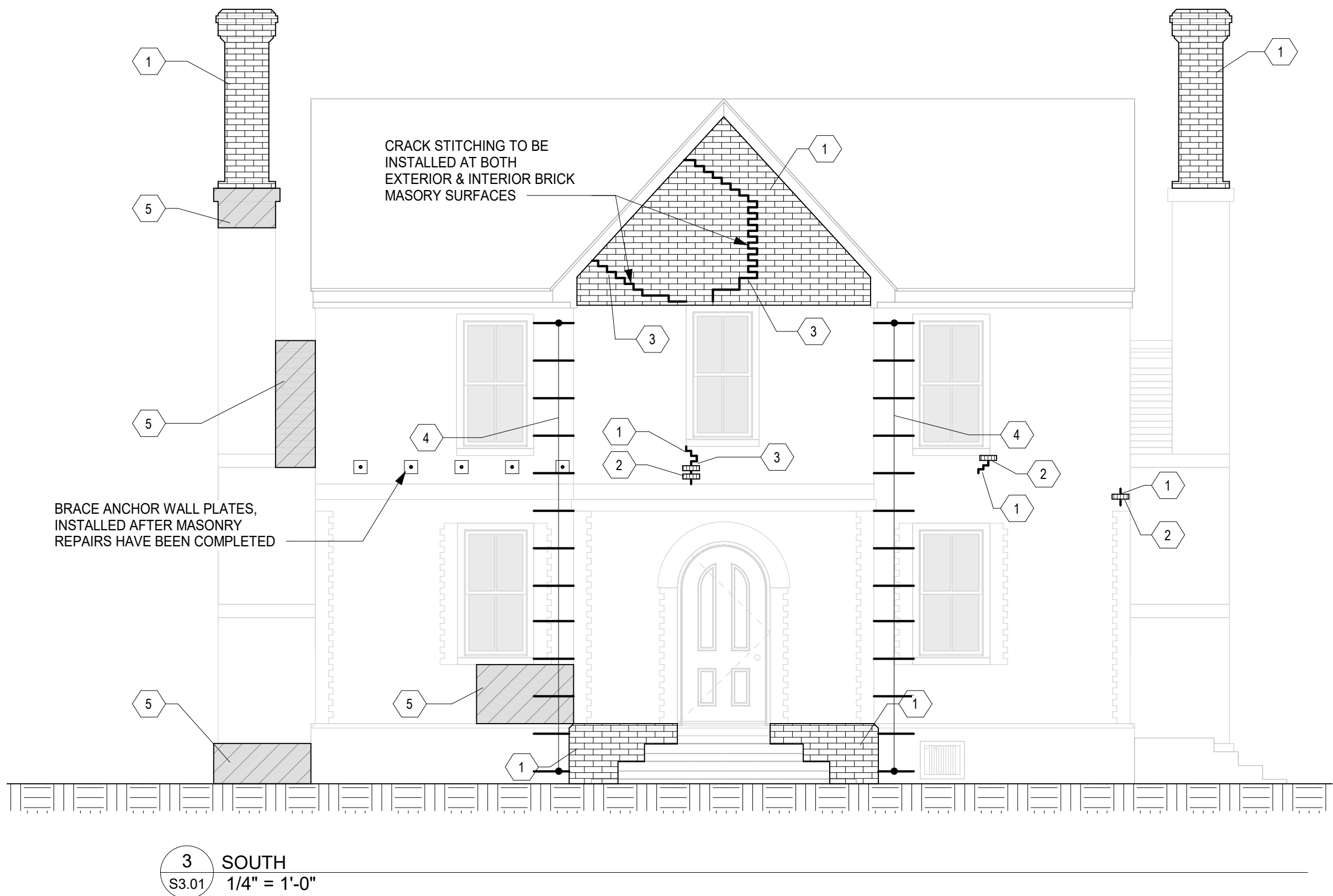
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Project:	MB246004

S2.02

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SCOPE OF WORK	
1	REMOVE & REPOINT EXISTING MORTAR JOINTS WITH JAHN M110 JB HISTORIC BRICK POINTING MORTAR OR APPROVED EQUAL
2	ROUT CRACK TO MIN 1/2\"/>
3	INSTALL CRACK STITCHING USING PROSOCO STITCH TIES OR APPROVED EQUAL
4	INSTALL CORNER CRACK STITCHING USING PROSOCO STITCH TIES OR APPROVED EQUAL
5	CLEAN BRICK MASONRY SURFACE USING NYLON BRISTLE BRUSH & CATHEDRAL STONE PRODUCTS BIO-CLEANER OR APPROVED EQUAL



REVISION SCHEDULE	
DESCRIPTION	DATE INITIALS

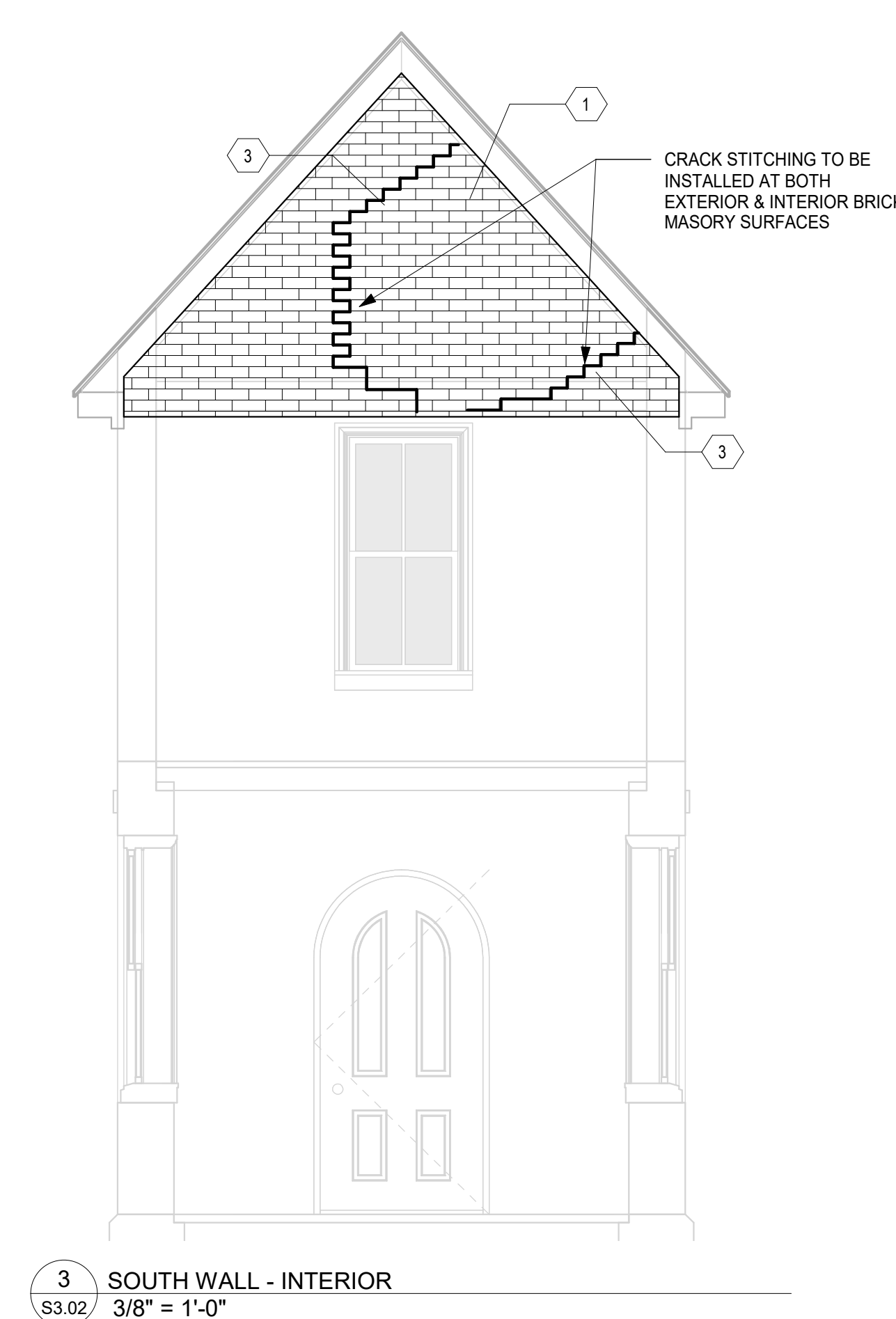
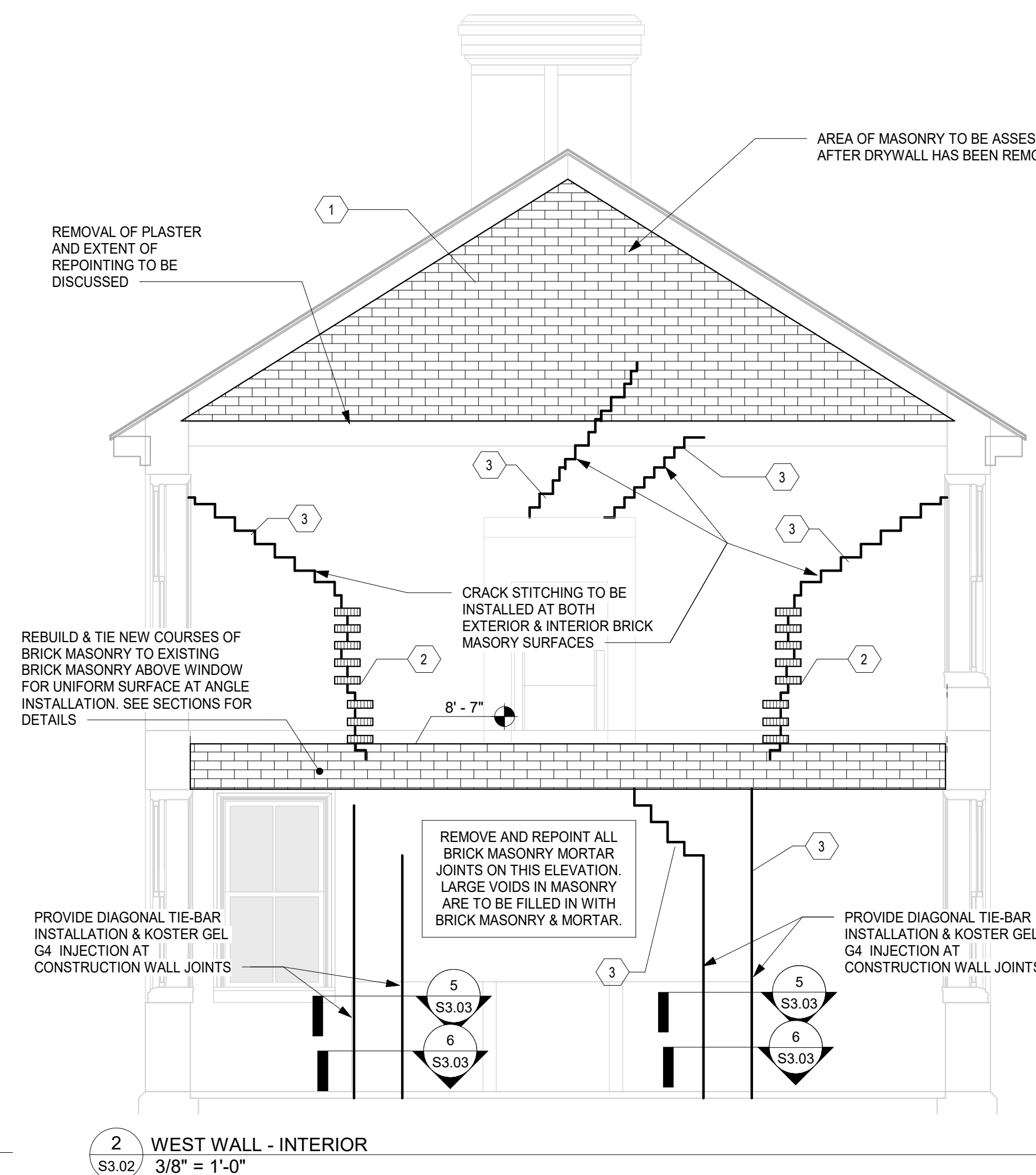
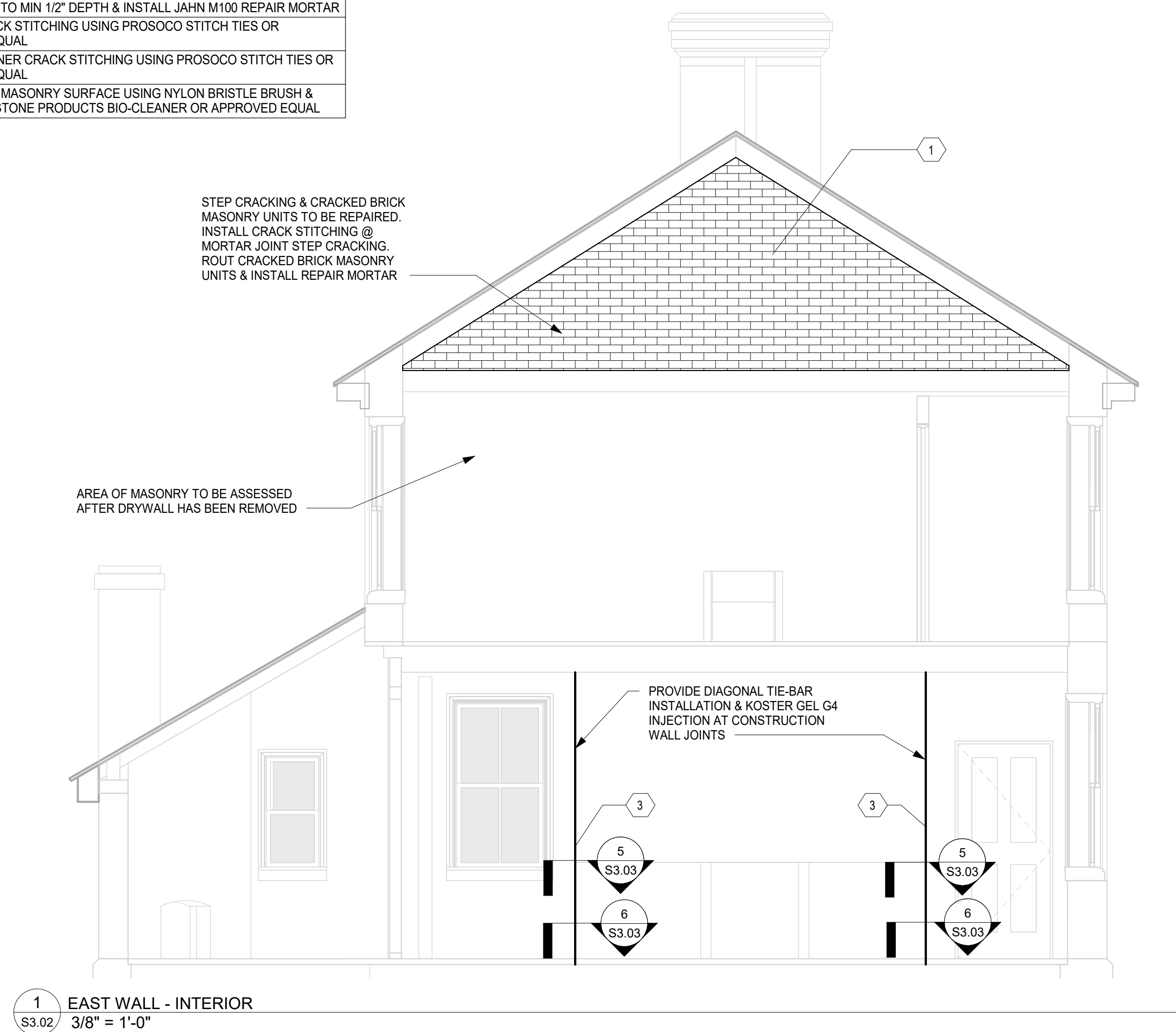
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EXTERIOR ELEVATIONS

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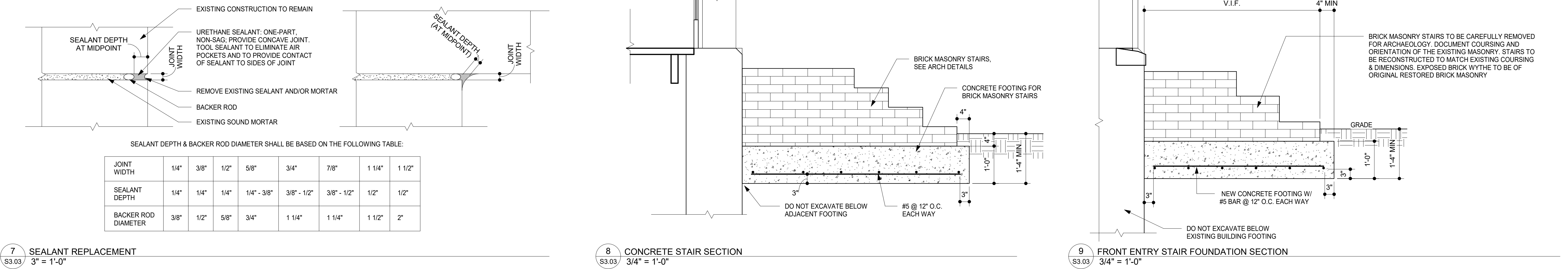
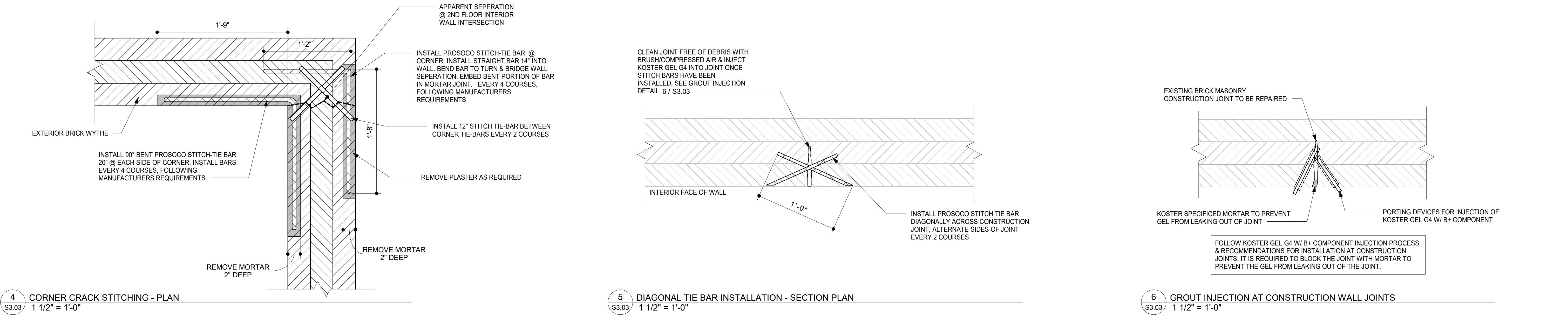
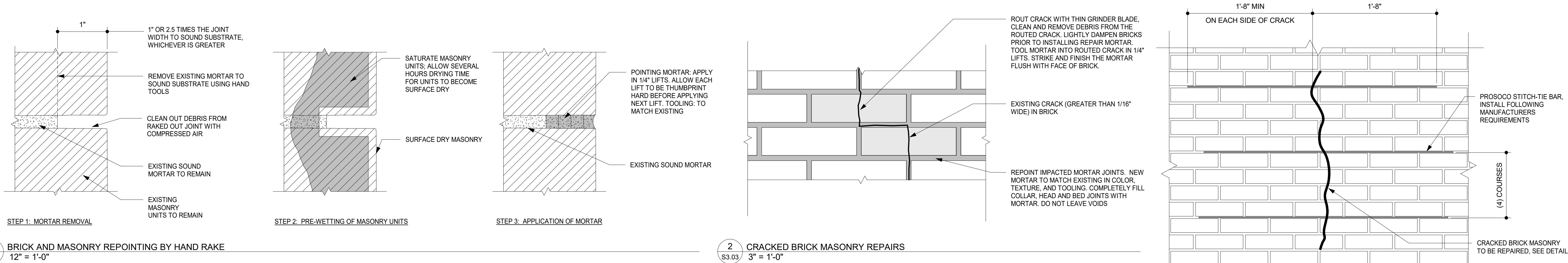
COMMONWEALTH OF VIRGINIA
Michael J. Lucas
MICHAEL J. LUCAS
Lic. No. 0402065019
05/15/2025
PROFESSIONAL ENGINEER

SCOPE OF WORK	
1	REMOVE & REPOINT EXISTING MORTAR JOINTS WITH JAHN M110 JB HISTORIC BRICK POINTING MORTAR OR APPROVED EQUAL
2	ROUT CRACK TO MIN 1/2" DEPTH & INSTALL JAHN M110 REPAIR MORTAR
3	INSTALL CRACK STITCHING USING PROSOCO STITCH TIES OR APPROVED EQUAL
4	INSTALL CORNER CRACK STITCHING USING PROSOCO STITCH TIES OR APPROVED EQUAL
5	CLEAN BRICK MASONRY SURFACE USING NYLON BRISTLE BRUSH & CATHEDRALSTONE PRODUCTS BIO-CLEANER OR APPROVED EQUAL



REVISION SCHEDULE		
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ABBREVIATIONS

A/C	AIR CONDITIONING	N	NORTH
ACT	ACOUSTICAL CEILING TILE	NEC	NATIONAL ELECTRICAL CODE
ADA	AMERICANS WITH DISABILITIES ACT	NIC	NOT IN CONTRACT
ADDL	ADDITIONAL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
ADJ	ADJUSTABLE	NO	NUMBER
AFF	ABOVE FINISHED FLOOR	NOM	NOMINAL
AFG	ABOVE FINISHED GRADE	NRC	NOISE REDUCTION COEFFICIENT
AGG	AGGREGATE	NTS	NOT TO SCALE
AHU	AIR HANDLING UNIT		
ALUM	ALUMINUM	OC	ON CENTER
ALT	ALTERNATE	OD	OUTSIDE DIAMETER
ANCH	ANCHOR, ANCHORAGE	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OFOI	OWNER FURNISHED, OWNER INSTALLED
APPROX	APPROXIMATE	OH	OVERHEAD
ARCH	ARCHITECT, ARCHITECTURAL	OPP	OPPOSITE
ATTEN	ATTENUATION	OTS	OPEN TO STRUCTURE
AVG	AVERAGE		
		PAR	PARALLEL
BOT	BOTTOM	PART	PARTIAL
BD	BOARD	PC	PRECAST
BFG	BELOW FINISHED GRADE	PCT	PORCELAIN CERAMIC TILE
BIT	BITUMINOUS	PL	PROPERTY LINE
BLDG	BUILDING	PLAM	PLASTIC LAMINATE
BLKG	BLOCKINGS	PLUMB	PLUMBING
BRG	BEARING	PLY	PLYWOOD
		PREFAB	PREFABRICATE, PREFABRICATED
CAB	CABINET	PREFIN	PREFINISHED
OFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	PREP	PREPARE
CJ	CONTROL JOINT	PREP	POUNDS PER SQUARE FOOT
CL	CLEAR, CENTERLINE	PSF	POUNDS PER SQUARE INCH
CLO	CLOSET	PT	PAINT
C/L	CENTERLINE	PVC	POLYVINYL CHLORIDE
CLG	CEILING		
CLR	CLEAR	QT	QUARRY TILE
CMU	CONCRETE MASONRY UNIT	QTY	QUANTITY
COL	COLUMN		
COMM	COMMUNICATION	R	RADIUS, RISER
CONC	CONCRETE	RAD	RADIUS
CONST	CONSTRUCTION	RB	RESILIENT BASE, RUBBER BASE
CONT	CONTINUOUS	RCP	REFLECTED CEILING PLAN
CORD	COORDINATE	RD	ROOF DRAIN
CORR	CORRIDOR, CORRUGATED	REC	RECEPTACLE
CPT	CARPET	REF	REFERENCE
CT	CERAMIC TILE	REINF	REINFORCING
		REQD	REQUIRED
D	DEEP, DEPTH, DRAIN	RH	RIGHT HAND
DBL	DOUBLE	RM	ROOM
DEG	DEGREE	RO	ROUGH OPENING
DEMO	DEMOLITION		
DIA	DIAMETER	S	SOUTH
DIM	DIMENSION	SAN	SANITARY
DN	DOWN	SECT	SECTION
DWG	DRAWING	SF	SQUARE FEET
		SIM	SIMILAR
E	EAST	SND	SANITARY NAPKIN DISPOSAL
EA	EACH	SPEC	SPECIFICATION
EF	EXHAUST FAN	SQ	SQUARE
EJ	EXPANSION JOINT	SS	STAINLESS STEEL, SOLID SURFACE
ELEC	ELECTRICAL	STC	SOURCE TRANSMISSION COEFFICIENT
ELEV	ELEVATION	STD	STANDARD
EQ	EQUAL	STL	STEEL
ETR	EXISTING TO REMAIN	STOR	STORAGE
EQUIP	EQUIPMENT	STRUCT	STRUCTURAL
EX, EXIST	EXISTING	SUSP	SUSPENDED
EXP JT	EXPANSION JOINT	SYN	SYNTHETIC
EXT	EXTERIOR		
		T	TON, TREAD, TOP
FD	FLOOR DRAIN, FIRE DAMPER	T&G	TONGUE AND GROOVE
FDN	FOUNDATION	TEMP	TEMPERATURE, TEMPERED
FE	FIRE EXTINGUISHER	TERR	TERRAZZO
FEC	FIRE EXTINGUISHER CABINET	TG	TEMPERED GLASS
FF	FINISH FLOOR	THRU	THROUGH
FL, FLR	FLOOR	TO	TOP OF
FOM	FACE OF MASONRY	TOB	TOP OF BEAM
FOS	FACE OF STUD	TOC	TOP OF CONCRETE
FP	FIREPROOF	TOS	TOP OF STEEL
FRP	FIBERGLASS REINFORCED PLASTIC	TRTD	TREATED
FT	FOOT, FEET	TV	TELEVISION
FUR	FURRED, FURRING	TYP	TYPICAL
		UL	UNDERWRITERS LABORATORIES
GA	GAUGE	UNF	UNFINISHED
GALV	GALVANIZED	UNO, UON	UNLESS NOTED OTHERWISE, UNLESS OTHERWISE NOTED
GC	GENERAL CONTRACTOR		
GEN	GENERAL	V	VOLT
GL	GLASS, GLAZING	VCC	VIRGINIA CONSTRUCTION CODE
GOVT	GOVERNMENT	VCT	VINYL COMPOSITION TILE
GWB	GYPSUM WALLBOARD	VEBC	VIRGINIA EXISTING BUILDING CODE
GYP	GYPSUM	VECC	VIRGINIA ENERGY CONSERVATION CODE
		VEN	VENER
H, HT	HIGH, HEIGHT	VERT	VERTICAL
HC	HANDICAPPED, HOLLOW CORE	VRC	VIRGINIA RESIDENTIAL CODE
HORIZ	HORIZONTAL	VUSBC	VIRGINIA UNIFIED STATEWIDE BUILDING CODE
HM	HOLLOW METAL		
		W	WIDTH, WIDE, WEST
IBC	INTERNATIONAL BUILDING CODE	WAIN	WAINSCOT
IN	INCH	WB	WOOD BASE
INSUL	INSULATION, INSULATED	WC	WATER CLOSET
INHM	INSULATED HOLLOW METAL	WD	WOOD
		WH	WATER HEATER
JAN	JANITOR	WT	WEIGHT
JC	JANITOR CLOSET	WWF	WELDED WIRE FABRIC
JT	JOINT	WWM	WELDED WIRE MESH
		W/	WITH
L	LONG, LENGTH	W/O	WITHOUT
LED	LIGHT EMITTING DIODE		
LF	LINEAR FOOT	& +	AND
LH	LEFT HAND	@	AT
		°	DEGREE
MAINT	MAINTENANCE	Ø	DIAMETER
MAX	MAXIMUM	>	GREATER THAN
MECH	MECHANICAL	≥	GREATER THAN OR EQUAL TO
MED	MEDIUM	<	LESS THAN
MTL	METAL	≤	LESS THAN OR EQUAL TO
MFG	MANUFACTURER	±, +/-	PLUS OR MINUS
MIN	MINIMUM, MINUTE		
MIR	MIRROR		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		

(CONTINUED NEXT COLUMN)

SIGN DETAILS

TOILET ROOM SIGNS

QTY: 1
T1

QTY: 1
T2

EMERGENCY SIGNS

QTY: 2
E1

ANNOTATION STANDARDS

FRAMED CONSTRUCTION

MASONRY CONSTRUCTION

ALL DIMENSIONS ARE TAKEN FROM FACE OF MASONRY OR FACE OF STUD TO FACE OF STUD OR CENTERLINE OF COLUMN, UNLESS OTHERWISE NOTED

NEW/EXISTING LEGEND

DEMOLITION IN EXISTING:
WALLS SHADED GREY WITH BOLD GREY OUTLINE. NO WALL LAYERS. OBJECTS TO BE DEMOLISHED SHOWN AS DASHED WITH WHITE FILL

TOTAL DEMOLITION:
WHITE FILL; DASHED LINES INDICATING EXTENT OF DEMOLITION

NEW OBJECTS IN EXISTING CONSTRUCTION:
WALLS SHADED GREY WITH BOLD GREY OUTLINE. NO WALL LAYERS; NEW OBJECTS BOLD BLACK OUTLINES WITH WHITE FILL

ALL NEW CONSTRUCTION:
WALLS WHITE FILL WITH BOLD BLACK OUTLINE. THIN LINES & PATTERNS SHOWING WALL LAYERS; NEW OBJECTS BOLD BLACK OUTLINES WITH WHITE FILL

PATTERN LEGEND

ALUMINUM	BATT INSULATION	BRICK (ELEVATION)
BRICK (PLAN)	CMU	CONCRETE OR PRECAST CONCRETE
EARTH	FINISH WOOD 1	FINISH WOOD 2
FINISH WOOD 3	GROUT OR GYPSUM	PLYWOOD (ROUGH)
POROUS FILL	ROUGH WOOD FRAMING (CONTINUOUS)	RIGID INSULATION
SAND	STEEL, ALUM. OR OTHER METAL	WOOD BLOCKING

SYMBOLS LEGEND

BUILDING ELEVATION MARKER

INTERIOR ELEVATION MARKER

BUILDING/WALL SECTION TAG

DETAIL CALLOUT TAG

DRAWING TITLE INDICATOR

ROOM

ROOM NAME & NUMBER

DOOR TAG

WINDOW TAG

WALL/PARTITION TAG

TOILET ACCESSORY / PLUMBING FIXTURE TAG

FURNITURE TAG

FINISH TAG

CCS-1

SIGNAGE TAG

ARCHITECTURAL KEYNOTE

DEMOLITION KEYNOTE

GRID LINE INDICATOR

BREAK LINE INDICATOR

TOP OF SLAB

ELEVATION/LEVEL INDICATOR

DRAWING SCALE INDICATOR

NORTH ARROW

EGRESS PATH OF TRAVEL AND DISTANCE

REVISION CLOUD AND NUMBER INDICATOR

SLOPE TRIANGLE ANNOTATION

SLOPE ARROW ANNOTATION

EXIT SIGN

GuernseyTingle

757-220-0220

Williamsburg, VA

guernseytingle.com

JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

REVISION SCHEDULE

DESCRIPTION	DATE	INITIALS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

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LEGENDS AND ABBREVIATIONS

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Date: 5/15/25

Drawn: JAB

Checked: TMC

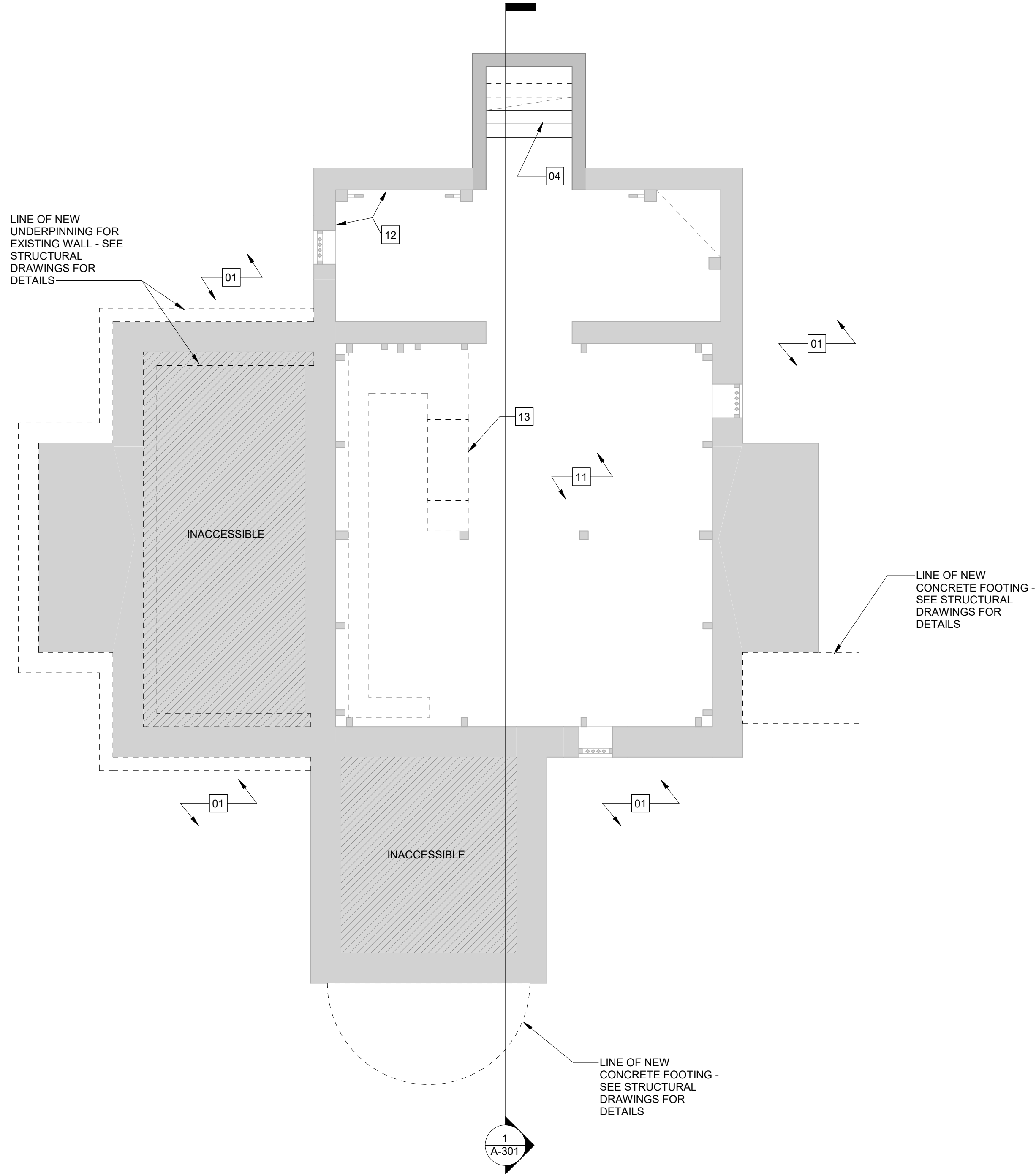
Project: 224085

A-001

Plotted on: 5/15/2025 12:09:40 PM

1
A-101 1/4" = 1'-0"

BASEMENT PLAN



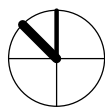
FLOOR PLAN GENERAL NOTES

- A. CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAR AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
- B. CONTRACTOR AND OWNER TO COORDINATE ON THE REMOVAL AND PROPER OFF-SITE STORAGE OF ALL ITEMS FROM THE JOB SITE.
- C. ALL ARCHAEOLOGICAL WORK SHALL BE COORDINATED WITH THE PROJECT MANAGER.

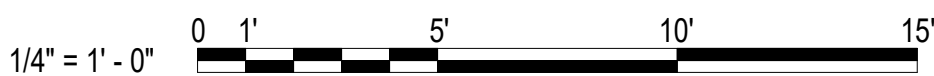
FLOOR PLAN KEYNOTES

- 01 REMOVE AND REPLACE EXISTING FOUNDATION DRAINAGE SYSTEM, AND SEAL PENETRATION FOR WATER LINE IN CELLAR. FOLLOWING THE REMOVAL OF THE EXISTING SYSTEM, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AROUND THE BUILDING PERIMETER, FOLLOWING THE COMPLETION OF ARCHAEOLOGY, INSTALL NEW FRENCH DRAIN AND CONNECT NEW SYSTEM TO CLEAR OUTLET.
- 02 WHERE EXISTING FLOOR BOARDS ARE DETERIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONG-LEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING. LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- 03 REMOVE ALL DAMAGED OR MOLDY DRYWALL, AND PLASTER.
- 04 REMOVE EXISTING CELLAR STAIR. FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.
- 05 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 06 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED AT THE LOCATION BY OTHERS. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING.
- 07 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 08 REPAIR RUPTURED PLUMBING THAT SERVES SECOND FLOOR BATH.
- 09 RESTORE MISSING ELEMENTS OF FIRST-FLOOR FIREBOX OF WEST CHIMNEY USING 19TH-CENTURY FIREBRICKS.
- 10 REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAKFAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- 11 SAW-CUT AND REMOVE MARGIN OF BASEMENT FLOOR SLAB, REPLACING WITH GRAVEL.
- 12 REMOVE PARKING IN THE NORTHWEST BASEMENT CORNER.
- 13 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REMOVE AND REPLACE EXISTING CARRIER FB4A DIRECT-EXPANSION FAN COIL UNIT IN BASEMENT AND EXISTING DUCANE HP10B3PA UNITS TO THE SOUTHEAST OF THE FRONT ENTRY. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- 14 CLEAR DEBRIS FROM EXISTING FLOOR SLIT VENTS. WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- 15 COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSET.

TRUE NORTH



GRAPHIC SCALE(S)



JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

REVISION SCHEDULE			INITIALS	
#	DESCRIPTION	DATE		

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BASEMENT PLAN

100% DESIGN SUBMISSION



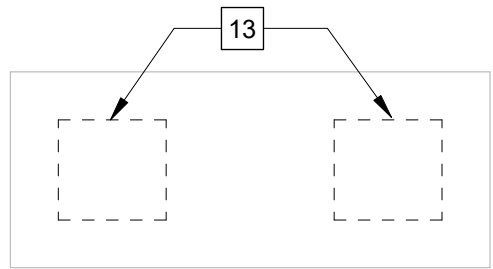
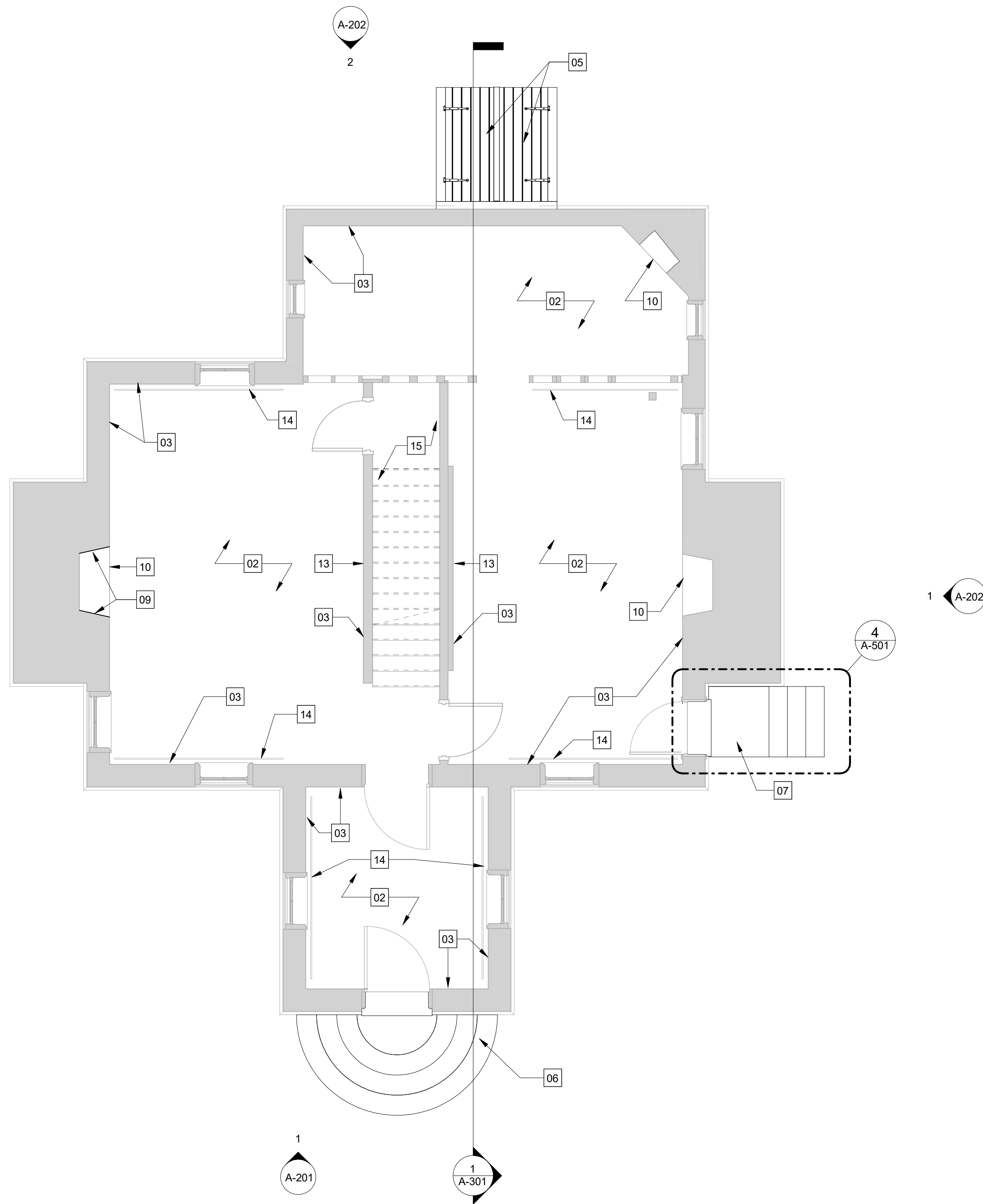
Date: 5/15/25
Drawn: JAB Checked: TMC
Project: 224085

A-101

Plotted on: 5/15/2025 12:09:41 PM

1
A-102 1/4" = 1'-0"

FIRST FLOOR



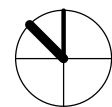
FLOOR PLAN GENERAL NOTES

- A. CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAR AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
- B. CONTRACTOR AND OWNER TO COORDINATE ON THE REMOVAL AND PROPER OFF-SITE STORAGE OF ALL ITEMS FROM THE JOB SITE.
- C. ALL ARCHAEOLOGICAL WORK SHALL BE COORDINATED WITH THE PROJECT MANAGER.

FLOOR PLAN KEYNOTES

- 01 REMOVE AND REPLACE EXISTING FOUNDATION DRAINAGE SYSTEM, AND SEAL PENETRATION FOR WATER LINE IN CELLAR. FOLLOWING THE REMOVAL OF THE EXISTING SYSTEM, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AROUND THE BUILDING PERIMETER, FOLLOWING THE COMPLETION OF ARCHAEOLOGY, INSTALL NEW FRENCH DRAIN AND CONNECT NEW SYSTEM TO CLEAR OUTLET.
- 02 WHERE EXISTING FLOOR BOARDS ARE DETERIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONG-LEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING. LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- 03 REMOVE ALL DAMAGED OR MOLDY DRYWALL, AND PLASTER.
- 04 REMOVE EXISTING CELLAR STAIR. FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.
- 05 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
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- 13 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REMOVE AND REPLACE EXISTING CARRIER FB4A DIRECT-EXPANSION FAN COIL UNIT IN BASEMENT AND EXISTING DUCANE HP10B3PA UNITS TO THE SOUTHEAST OF THE FRONT ENTRY. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- 14 CLEAR DEBRIS FROM EXISTING FLOOR SLIT VENTS. WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- 15 COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSE.

TRUE NORTH



GRAPHIC SCALE(S)

1/4" = 1' - 0" 0 1' 5' 10' 15'

REVISION SCHEDULE			INITIALS	
#	DESCRIPTION	DATE		

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FIRST FLOOR PLAN

100% DESIGN
SUBMISSION



Date: 5/15/25
Drawn: JAB Checked: TMC
Project: 224085

A-102

JBLE MATTHEW JONES HOUSE

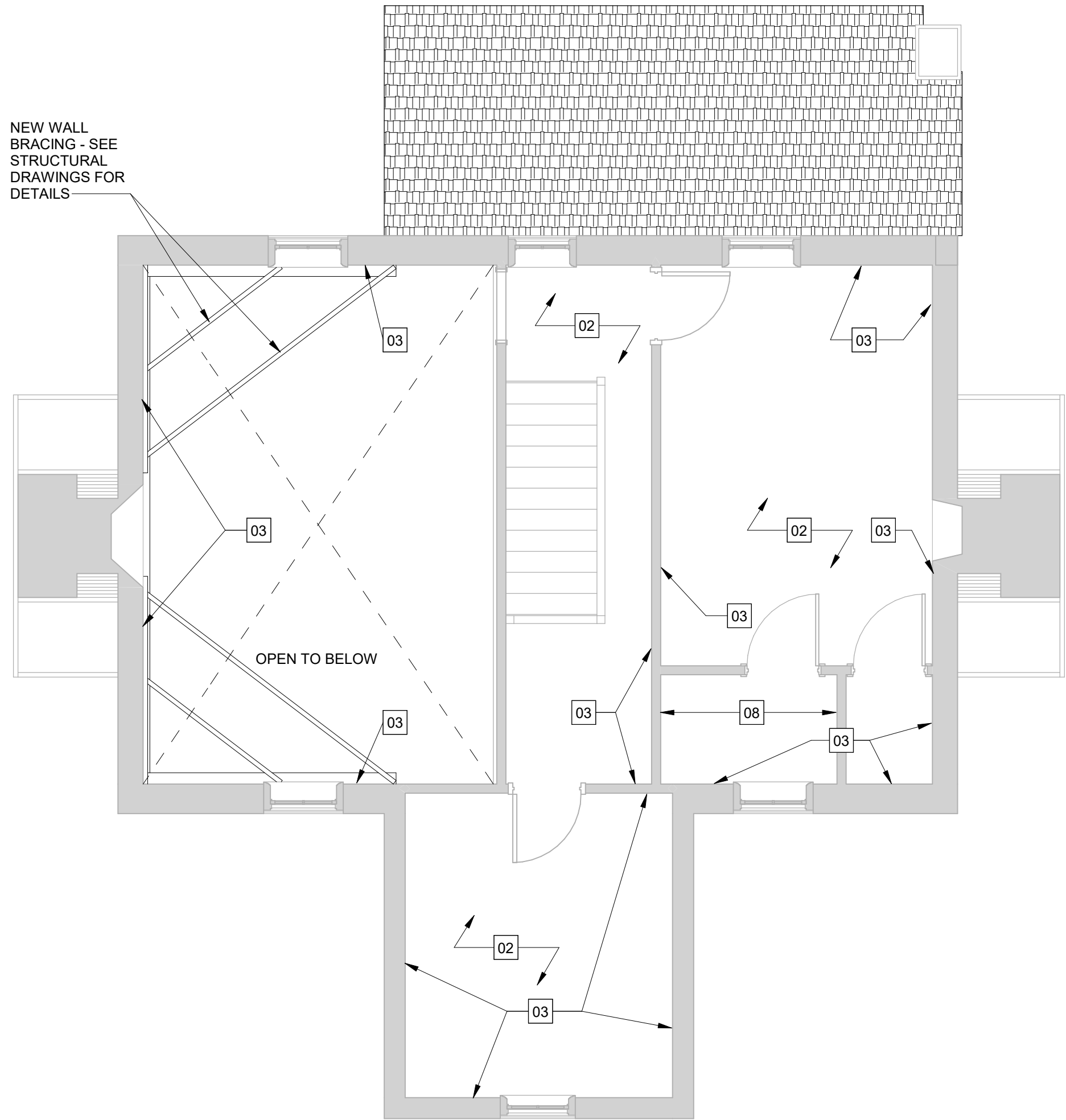
JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

GuernseyTingle
757-220-0020 Williamsburg, VA
guernseytingle.com

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1
A-103 1/4" = 1'-0"

SECOND FLOOR



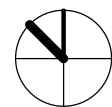
FLOOR PLAN GENERAL NOTES

- A. CLEAN AND PREPARE ALL SPACES IN WHICH WORK WILL OCCUR PRIOR TO THE START OF CONSTRUCTION. CLEAR AND COVER ANY HVAC FLOOR REGISTERS, AND ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN FLOORS AND INTERIOR TRIM.
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FLOOR PLAN KEYNOTES

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- 02 WHERE EXISTING FLOOR BOARDS ARE DETERIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONG-LEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING. LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- 03 REMOVE ALL DAMAGED OR MOLDY DRYWALL, AND PLASTER.
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- 10 REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- 11 SAW-CUT AND REMOVE MARGIN OF BASEMENT FLOOR SLAB, REPLACING WITH GRAVEL.
- 12 REMOVE PARKING IN THE NORTHWEST BASEMENT CORNER.
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- 14 CLEAR DEBRIS FROM EXISTING FLOOR SLIT VENTS. WHERE THE INSECT SCREEN IS DAMAGED, REMOVE AND REPLACE IN KIND.
- 15 COORDINATE HVAC AND ELECTRICAL WORK TO TAKE PLACE IN FIRST FLOOR ELECTRICAL CLOSET.

TRUE NORTH



GRAPHIC SCALE(S)



JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

REVISION SCHEDULE			INITIALS
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SECOND FLOOR PLAN

100% DESIGN SUBMISSION



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Project: 224085

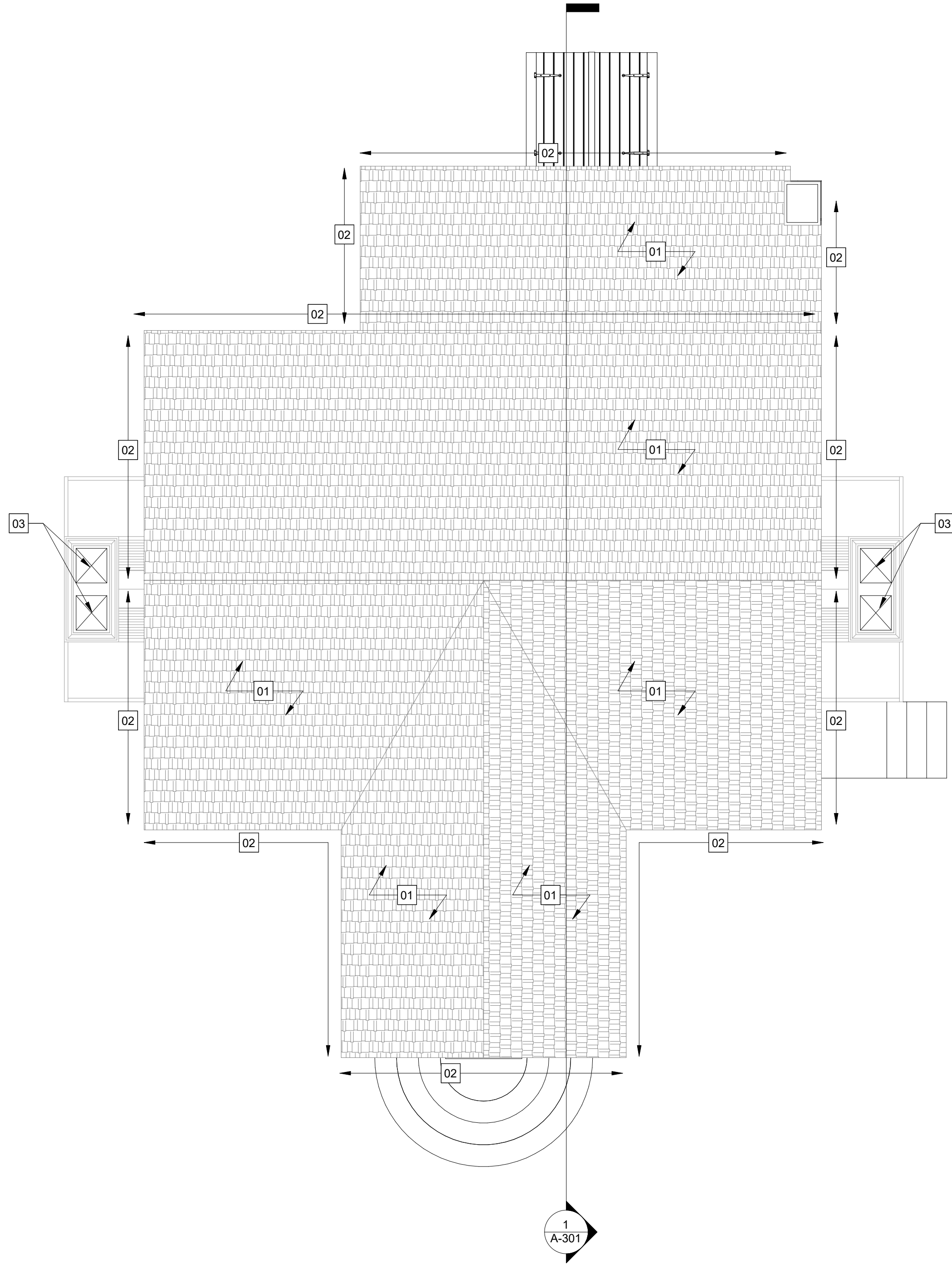
A-103

Plotted on: 5/15/2025 12:09:43 PM

1
A-111

ROOF PLAN

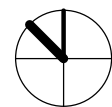
1/4" = 1'-0"



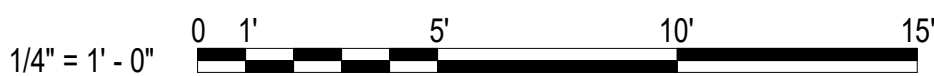
ROOF PLAN KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DECKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR BREATHER AND VAPROSHIELD UNDERLAYMENT. INSTALL NEW SHINGLE SYSTEM. NEW SHINGLES ARE TO BE ALASKAN YELLOW CEDAR, SQUARE BUTT, 3" TO 5" WIDE BY 18" LONG BY 5/8" TO 3/4" THICK AT THE BUTT, SECURED WITH STAINLESS STEEL, RING-SHANK NAILS TO DISPLAY A 6" EXPOSURE. RENEW ALL FLASHINGS IN LEAD, SECURED WITH LEAD WOOL. PROVIDE NEW COPPER DRIP EDGES AT RAKES AND EAVES, AND PROVIDE NEW COPPER GUTTERS AND RAIN LEADERS.
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 03 FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY

TRUE NORTH



GRAPHIC SCALE(S)



REVISION SCHEDULE			
#	DESCRIPTION	DATE	INITIALS

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ROOF PLAN

100% DESIGN
SUBMISSION



Date: 5/15/25
Drawn: JAB Checked: TMC
Project: 224085

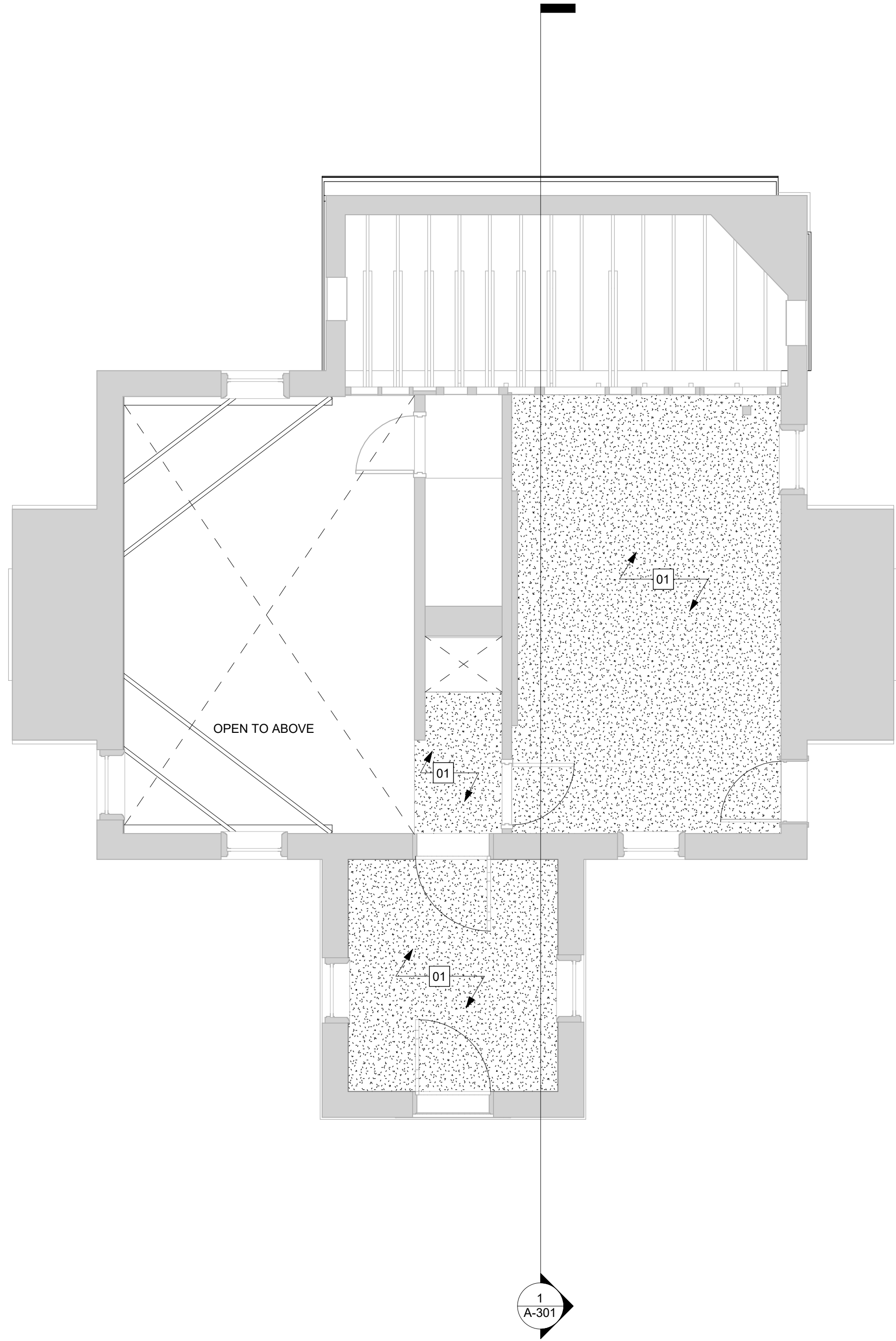
A-111

JBLE MATTHEW JONES HOUSE

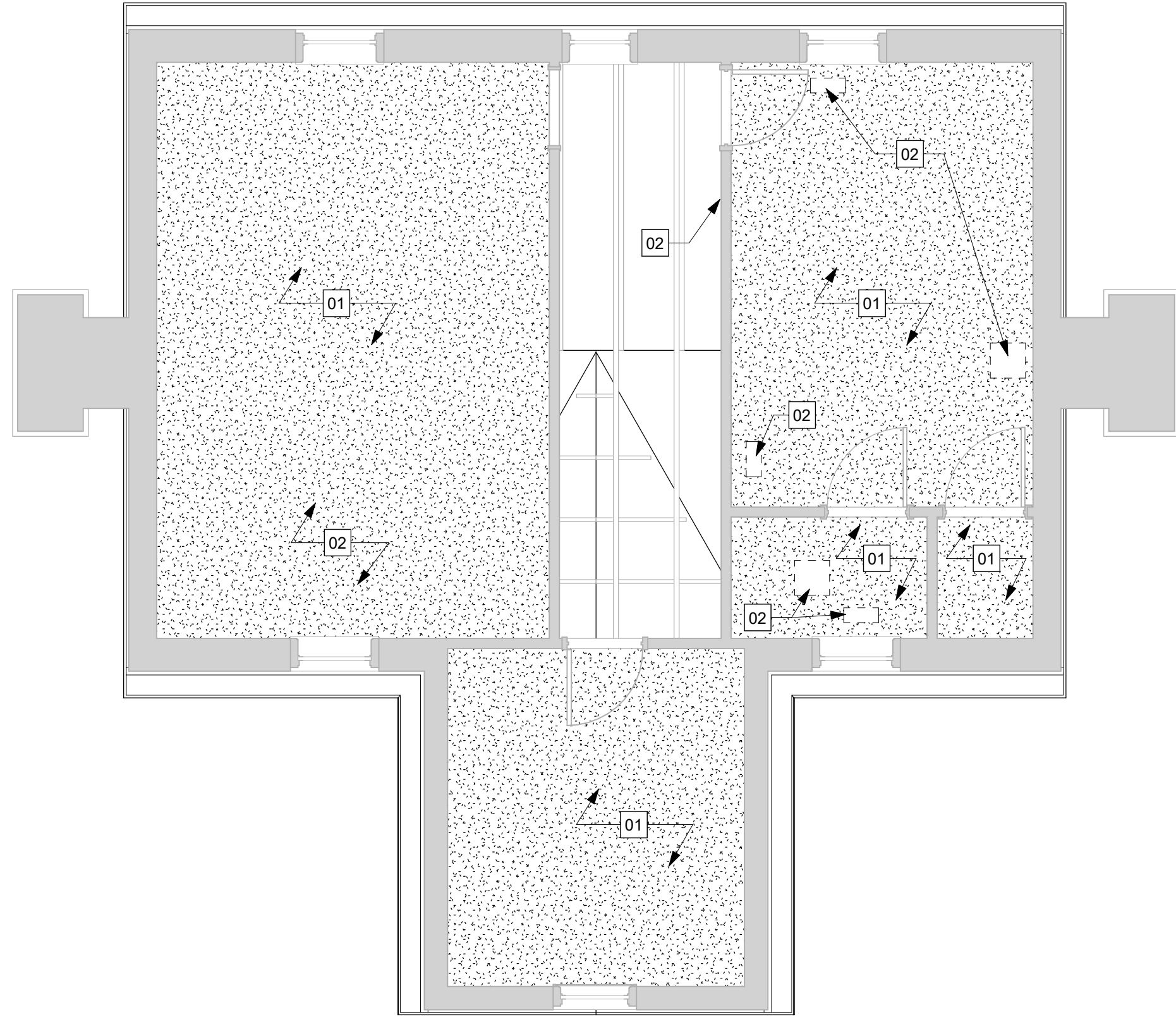
JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

Plotted on: 5/15/2025 12:09:44 PM

1
A-121
FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



2
A-121
SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



RCP GENERAL NOTES

- A. COORDINATE CEILING AND ROOF WORK WITH MECHANICAL AND PLUMBING EQUIPMENT.
B. ENSURE THE PROPER PROTECTION OF ALL EXISTING WOODEN ELEMENTS AND INTERIOR TRIM TO REMAIN.

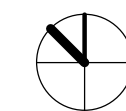
RCP LEGEND

- NEW PARTITION
EXISTING PARTITION TO REMAIN
GYPSUM BOARD CEILING

RCP KEYNOTES

- 01 REMOVE AND REPLACE EXISTING DAMAGED DRYWALL CEILINGS. REINSTALL PREVIOUSLY REMOVED DRYWALL CEILINGS WHERE INDICATED. PROVIDE INSULATION. COORDINATE FIRE DETECTION SYSTEMS AND LIGHTING IN THE WEST ROOM.
02 REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.

TRUE NORTH



GRAPHIC SCALE(S)

1/8" = 1' - 0" 0 5' 10' 15' 30'

REVISION SCHEDULE			INITIALS
#	DESCRIPTION	DATE	

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REFLECTED CEILING PLANS

100% DESIGN SUBMISSION



Date: 5/15/25
Drawn: JAB Checked: TMC
Project: 224085

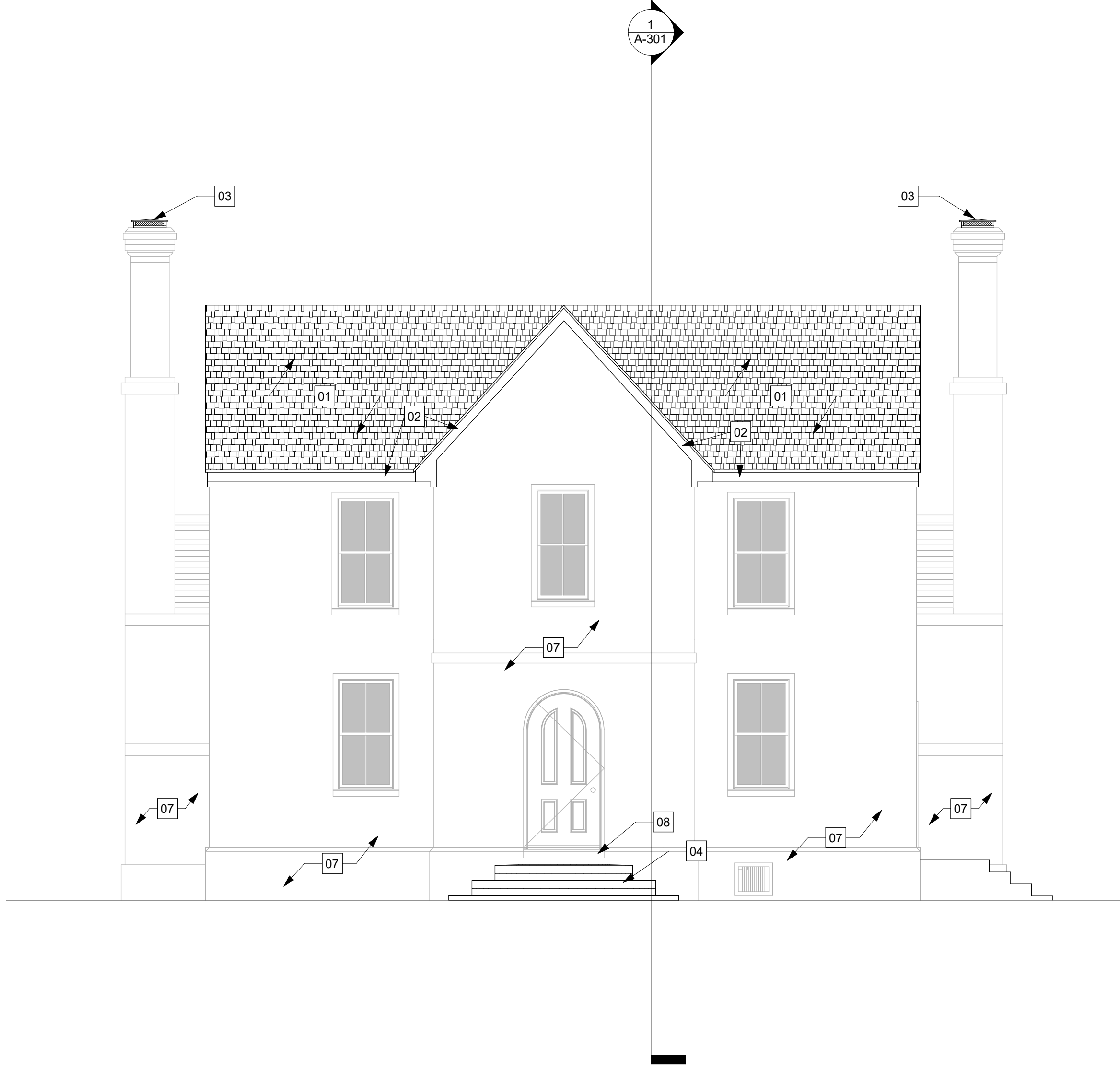
A-121

JBLE MATTHEW JONES HOUSE

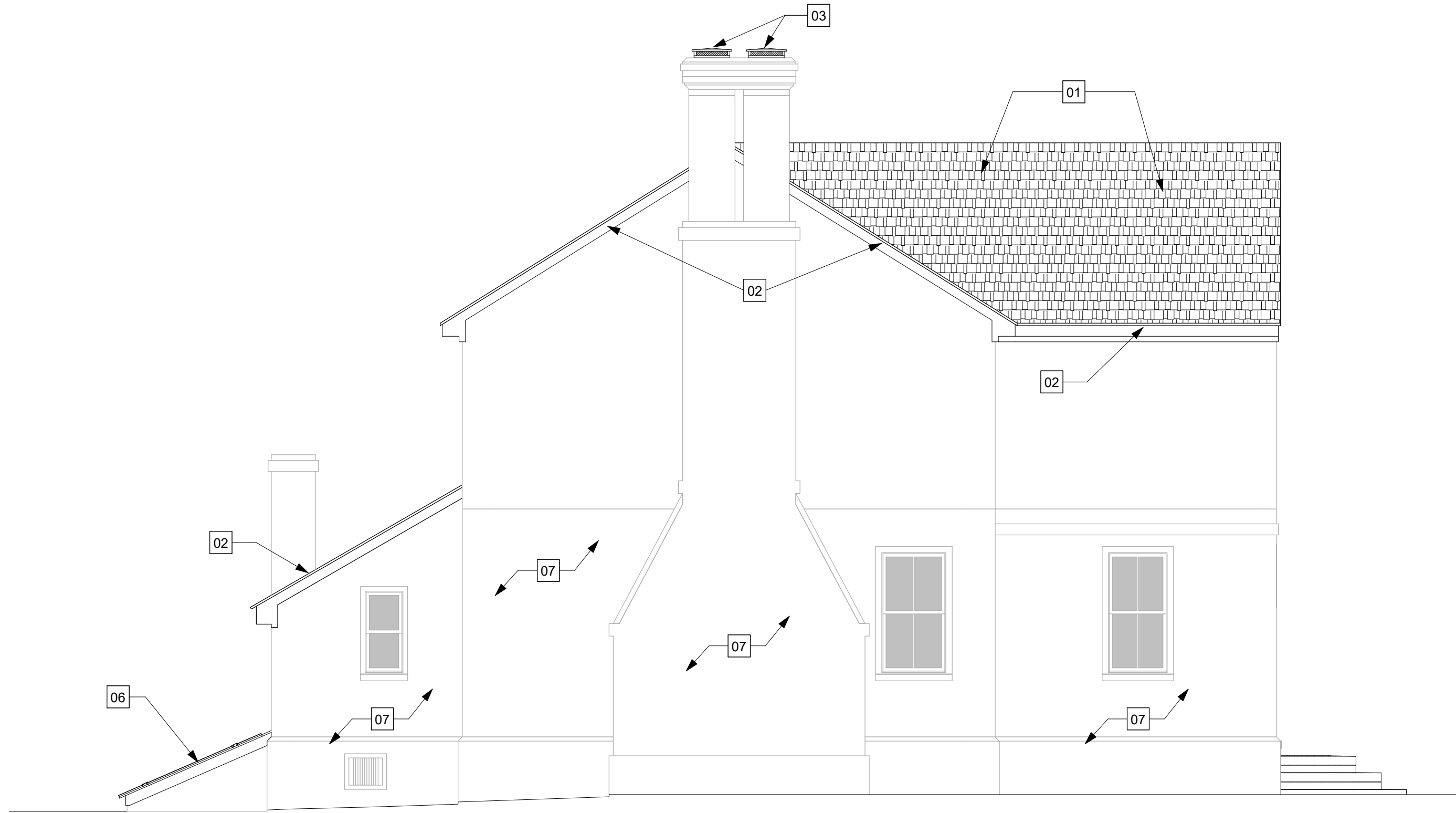
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GuernseyTingle
757-220-0020 Williamsburg, VA
guernseytingle.com

Plotted on: 5/15/2025 12:09:45 PM



1
A-201
NEW WORK - SOUTH ELEVATION
1/4" = 1'-0"

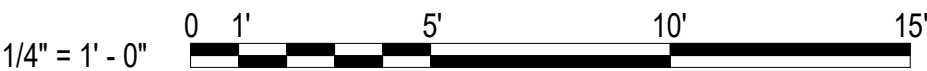


3
A-201
NEW WORK - WEST ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DECKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING. FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY CAP
- 03 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING
- 04
- 05 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 06 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 07 COMPLETE MASONRY WORK AS IDENTIFIED IN STRUCTURAL DRAWINGS
- 08 REPAIR EXTERIOR DOOR SILL AT FRONT TOWER. PLUG HOLES IN THE FRONT FACE AND FILL WITH FLEXIBLE EPOXY.
- 09 REPLACE EXTERIOR DOOR SILL TO MATCH EXISTING IN KIND. NEW DOOR SILL ELEMENT TO BE RECLAIMED LONG-LEAF SOUTHERN YELLOW PINE, TREATED.

GRAPHIC SCALE(S)



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SOUTH AND WEST ELEVATIONS

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Project: 224085

A-201

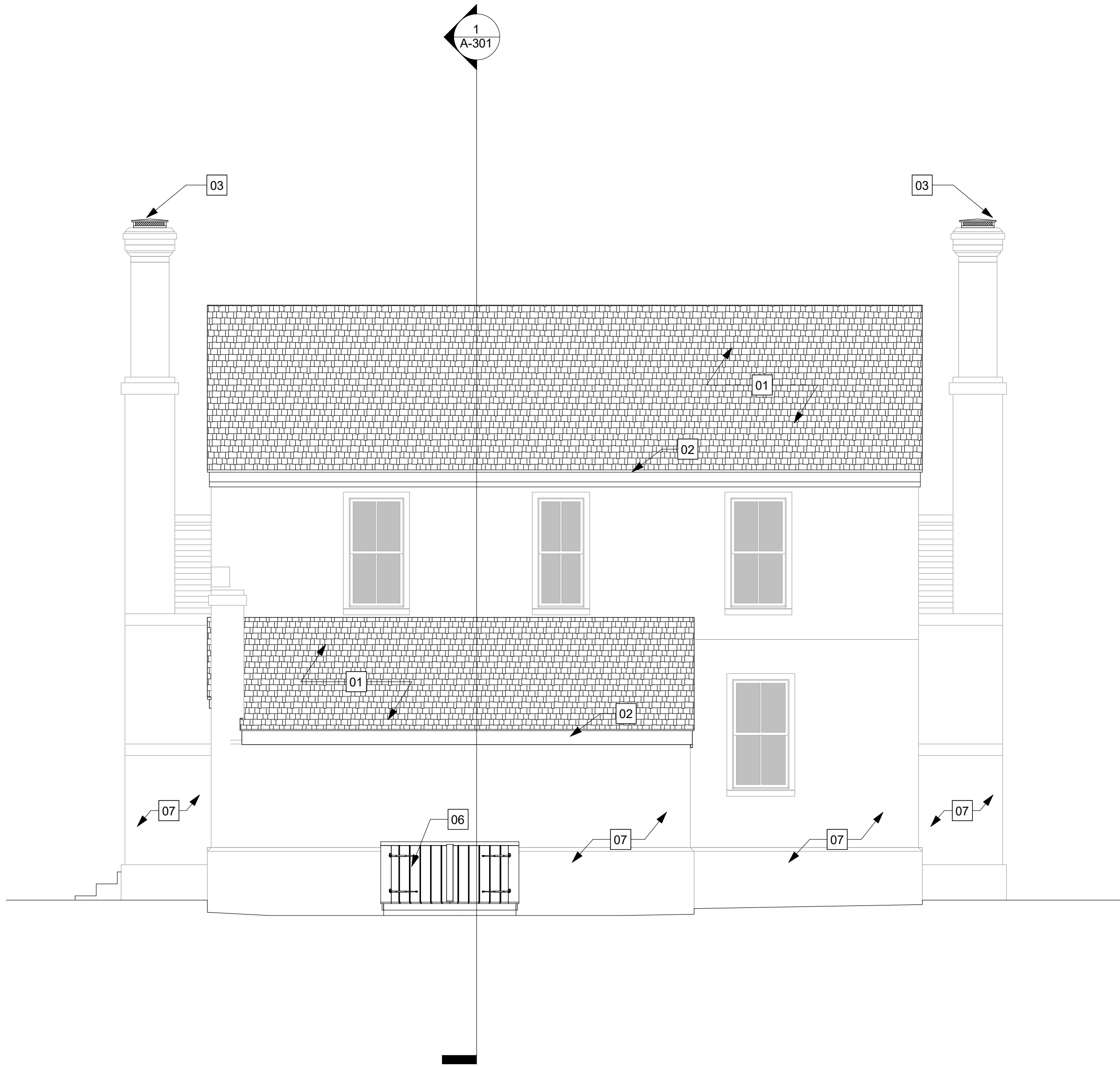
JBLE MATTHEW JONES HOUSE

JOINT BASE LANGLEY-EUSTIS, NEWPORT NEWS, VIRGINIA 23604

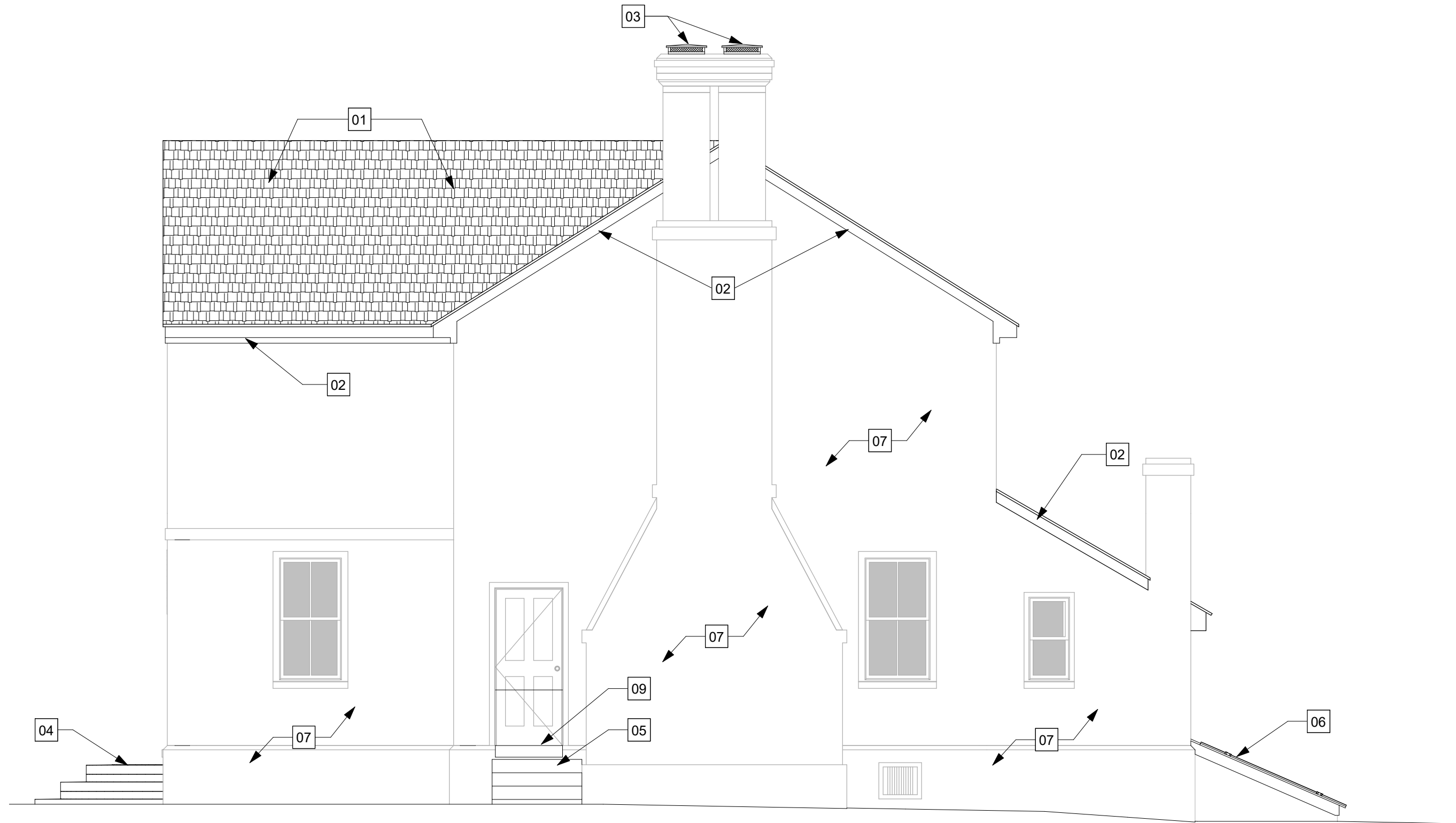


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2
A-202
NEW WORK - NORTH ELEVATION
1/4" = 1'-0"



1
A-202
NEW WORK - EAST ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 REMOVE THE EXISTING SHINGLE AND FELT UNDERLAYMENT ROOF SYSTEM. REMOVE DETERIORATED ROOF DECKING ELEMENTS. WHERE DETERIORATED EXISTING WOOD DECKING IS REMOVED, USE 1" RECLAIMED SOUTHERN YELLOW PINE FOR ALL REPAIR AND REPLACEMENT ELEMENTS. INSTALL NEW CEDAR
- 02 REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- 03 FURNISH AND INSTALL LOW-PROFILE, VENTED COPPER CHIMNEY CAP
- 04 CAREFULLY REMOVE EXISTING BRICK STAIR, CLEANING AND SALVAGING EXISTING BRICK ELEMENTS FOR REINSTALLATION. ONCE EXISTING STAIR IS REMOVED, ARCHAEOLOGY IS TO BE PERFORMED BY OTHERS AT THE STAIR LOCATION. AFTER THE COMPLETION OF ARCHAEOLOGICAL WORK, PROVIDE NEW CONCRETE FOOTING AND REASSEMBLE STAIR USING CLEANED SALVAGED BRICK ELEMENTS AND NEW NATURAL CEMENT MORTAR. THE CONFIGURATION OF THE REASSEMBLED STAIR SHALL MATCH THE EXISTING
- 05 REMOVE EXISTING WOOD STAIRS AT EAST ENTRY. FOLLOWING THE REMOVAL OF THE STAIRS, ARCHAEOLOGY WILL BE PERFORMED AT THE LOCATION BY OTHERS. ONCE ARCHAEOLOGY HAS CONCLUDED, PROVIDE A CONCRETE FOOTING AND FURNISH A STAIRCASE WITH NEW MASONRY AND NATURAL CEMENT MORTAR. NEW MASONRY SHALL MATCH EXISTING ADJACENT IN KIND.
- 06 REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- 07 COMPLETE MASONRY WORK AS IDENTIFIED IN STRUCTURAL DRAWINGS
- 08 REPAIR EXTERIOR DOOR SILL AT FRONT TOWER. PLUG HOLES IN THE FRONT FACE AND FILL WITH FLEXIBLE EPOXY.
- 09 REPLACE EXTERIOR DOOR SILL TO MATCH EXISTING IN KIND. NEW DOOR SILL ELEMENT TO BE RECLAIMED LONG-LEAF SOUTHERN YELLOW PINE, TREATED.

GRAPHIC SCALE(S)

1/4" = 1' - 0" 0 1' 5' 10' 15'

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NORTH AND EAST ELEVATIONS

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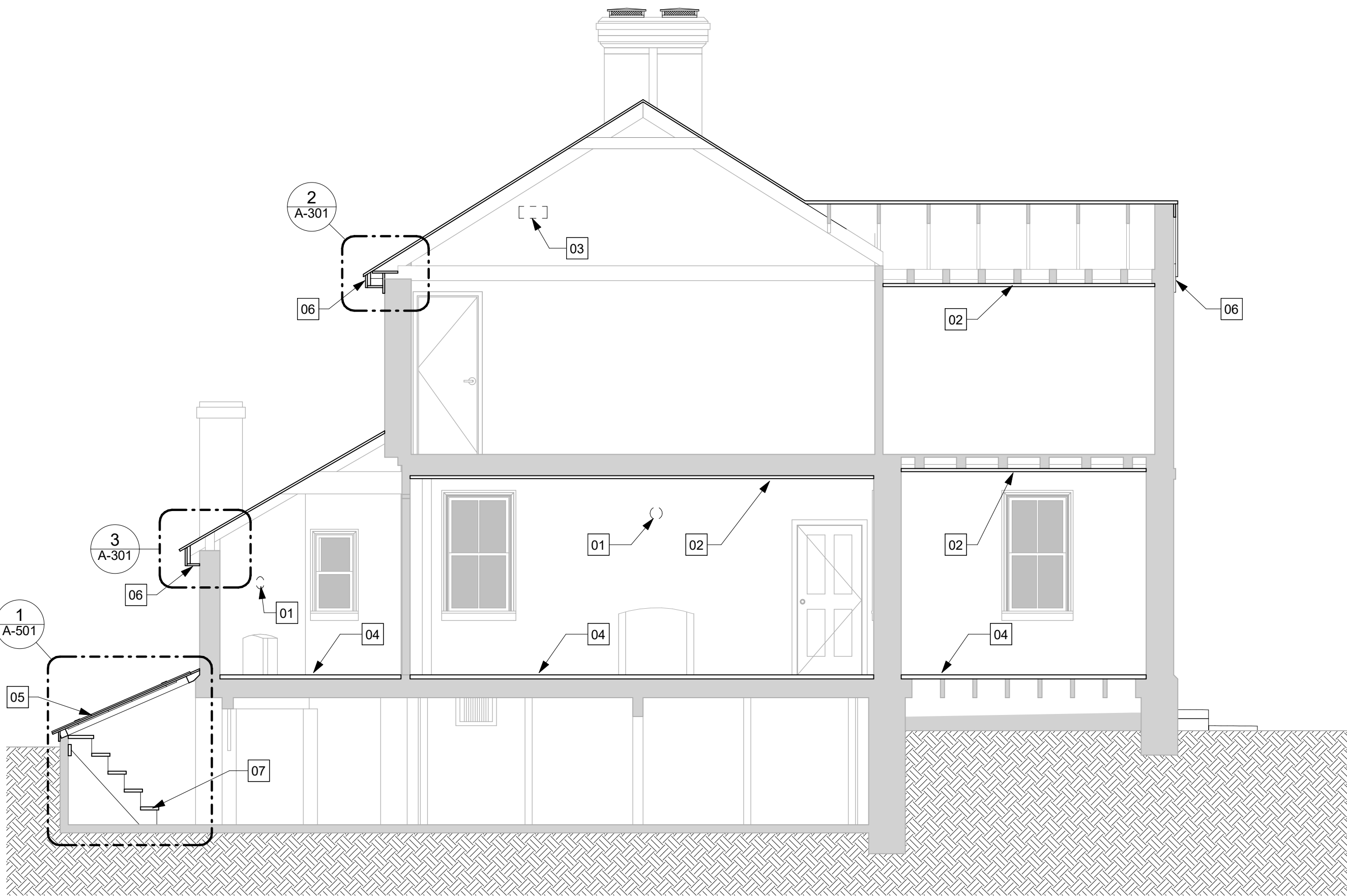
A-202

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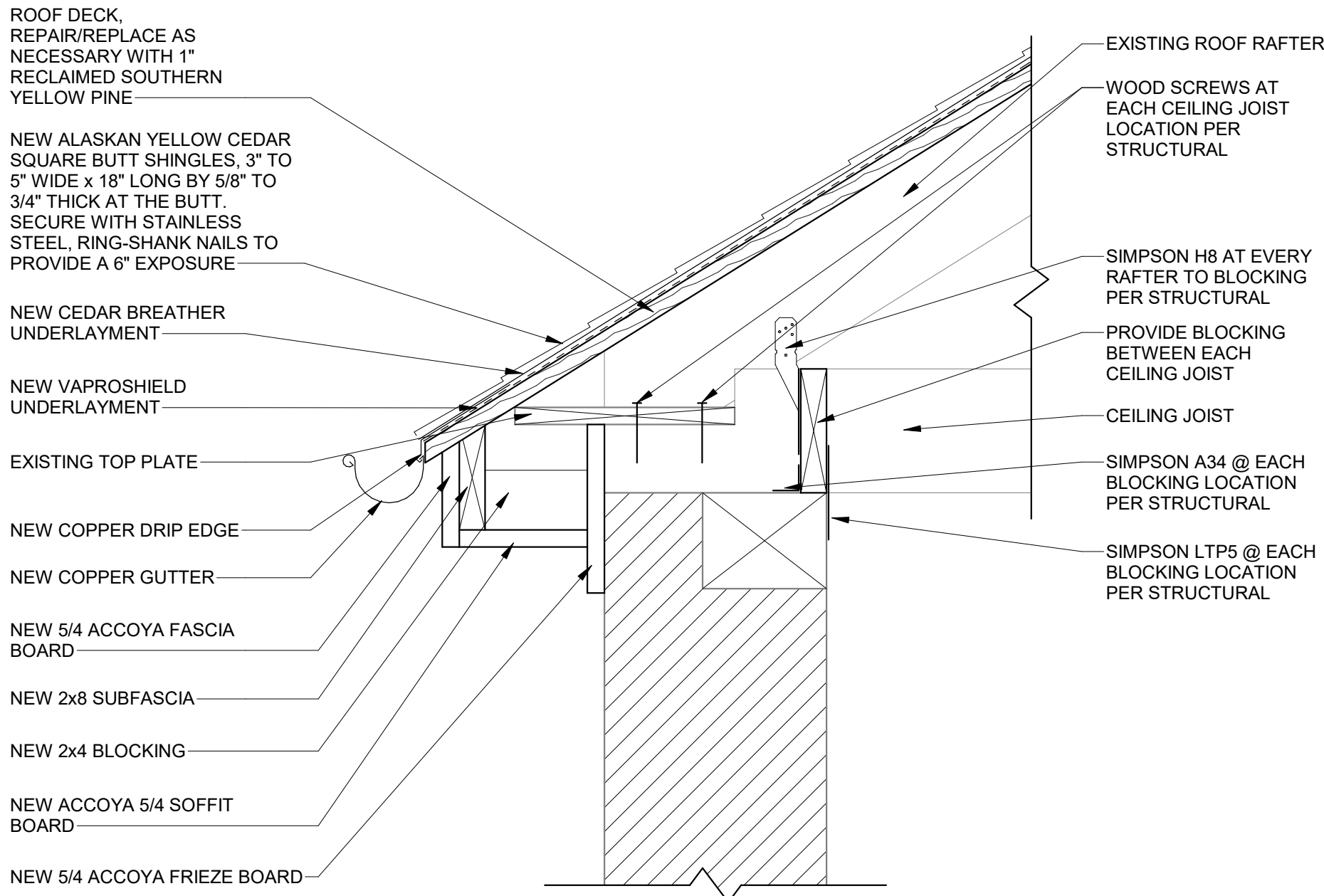
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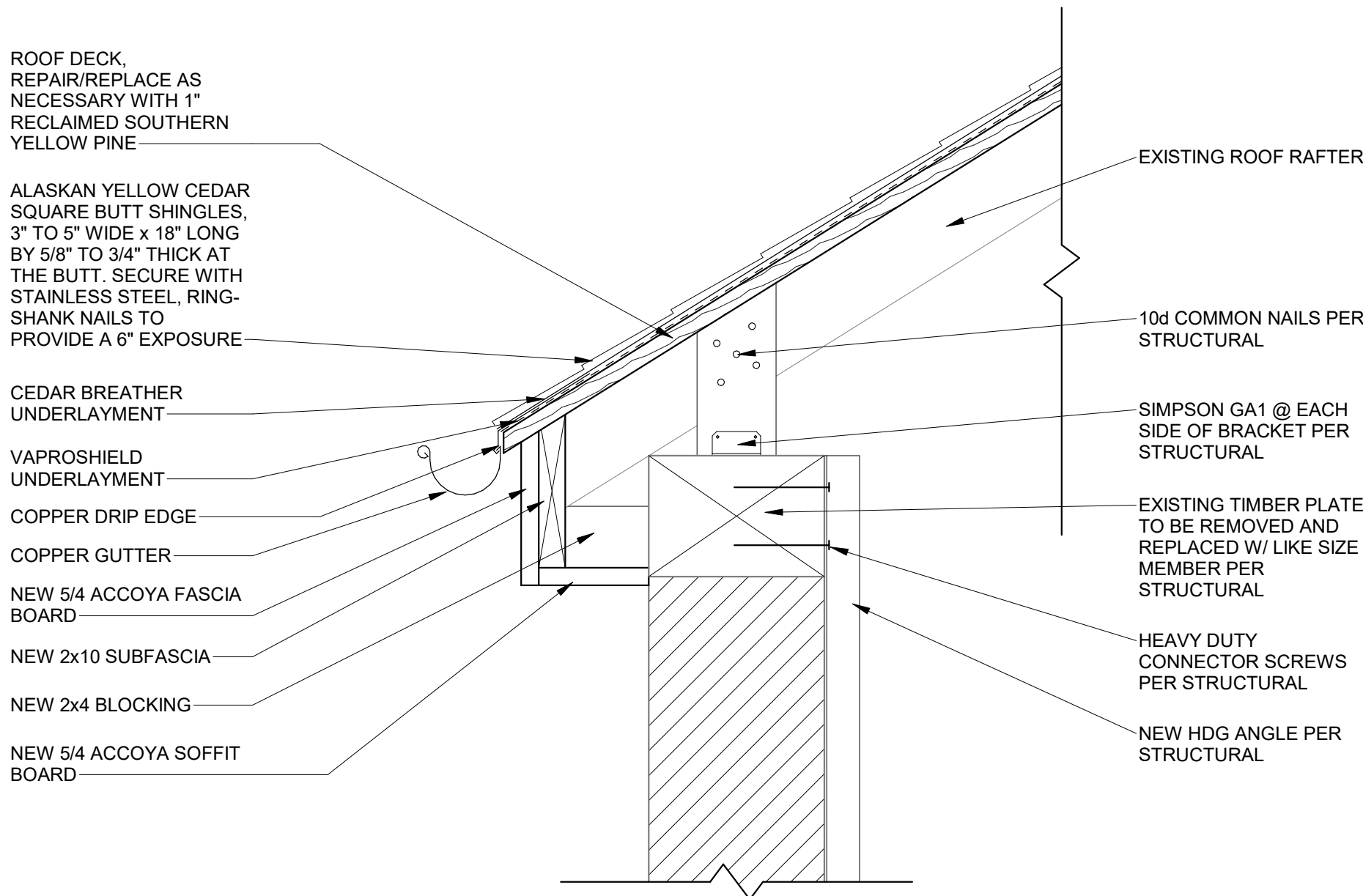
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BUILDING SECTION
1
A-301 1/4" = 1'-0"



MAIN ROOF EAVE DETAIL
2
A-301 1 1/2" = 1'-0"

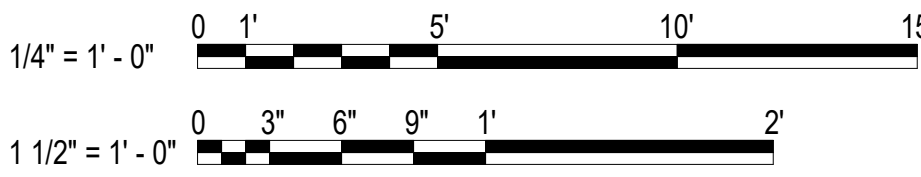


SHED ROOF EAVE DETAIL
3
A-301 1 1/2" = 1'-0"

SECTION KEYNOTES

- REMOVE STOVE THIMBLE FROM ABOVE FIRST-FLOOR FIREBOX AND REPAIR BREAST WITH NEW BRICK INFILL TO MATCH EXISTING ADJACENT.
- REMOVE AND REPLACE EXISTING DAMAGED DRYWALL CEILINGS. REINSTALL PREVIOUSLY REMOVED DRYWALL CEILINGS WHERE INDICATED. PROVIDE INSULATION. COORDINATE FIRE DETECTION SYSTEMS AND LIGHTING IN THE WEST ROOM.
- REHABILITATE EXISTING HVAC SYSTEM TO VENTILATE BUILDING AND CONTROL MOISTURE. REPOSITION EXISTING SUPPLY REGISTERS ABOVE THE FFL. FOLLOWING THE COMPLETION OF HVAC WORK, RECONNECT SYSTEM.
- WHERE EXISTING FLOOR BOARDS ARE DETERIORATED, REMOVE AND FURNISH REPLACEMENT ELEMENTS FROM RECLAIMED, LONG-LEAF SOUTHERN YELLOW PINE. REPLACEMENT ELEMENTS TO MATCH EXISTING. LAY NEW FLOORING ELEMENTS TIGHT AND DOUBLE-NAIL. ASSUME 500 SF OF REPLACEMENT.
- REMOVE EXISTING DOORS, FRAME, AND ASSOCIATED TRIM AT THE CELLAR ENTRY. FURNISH NEW DOOR, FRAME, AND TRIM ELEMENTS FROM ACCOYA AND INSTALL.
- REMOVE EXISTING WOOD CORNICE AND ALL OTHER ASSOCIATED WOOD ROOF TRIM. FURNISH AND INSTALL ACCOYA ELEMENTS TO MATCH EXISTING.
- REMOVE EXISTING CELLAR STAIR. FURNISH NEW CELLAR STAIR FROM ACCOYA. NEW STAIR ELEMENT TO MATCH EXISTING.

GRAPHIC SCALE(S)



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BUILDING SECTION

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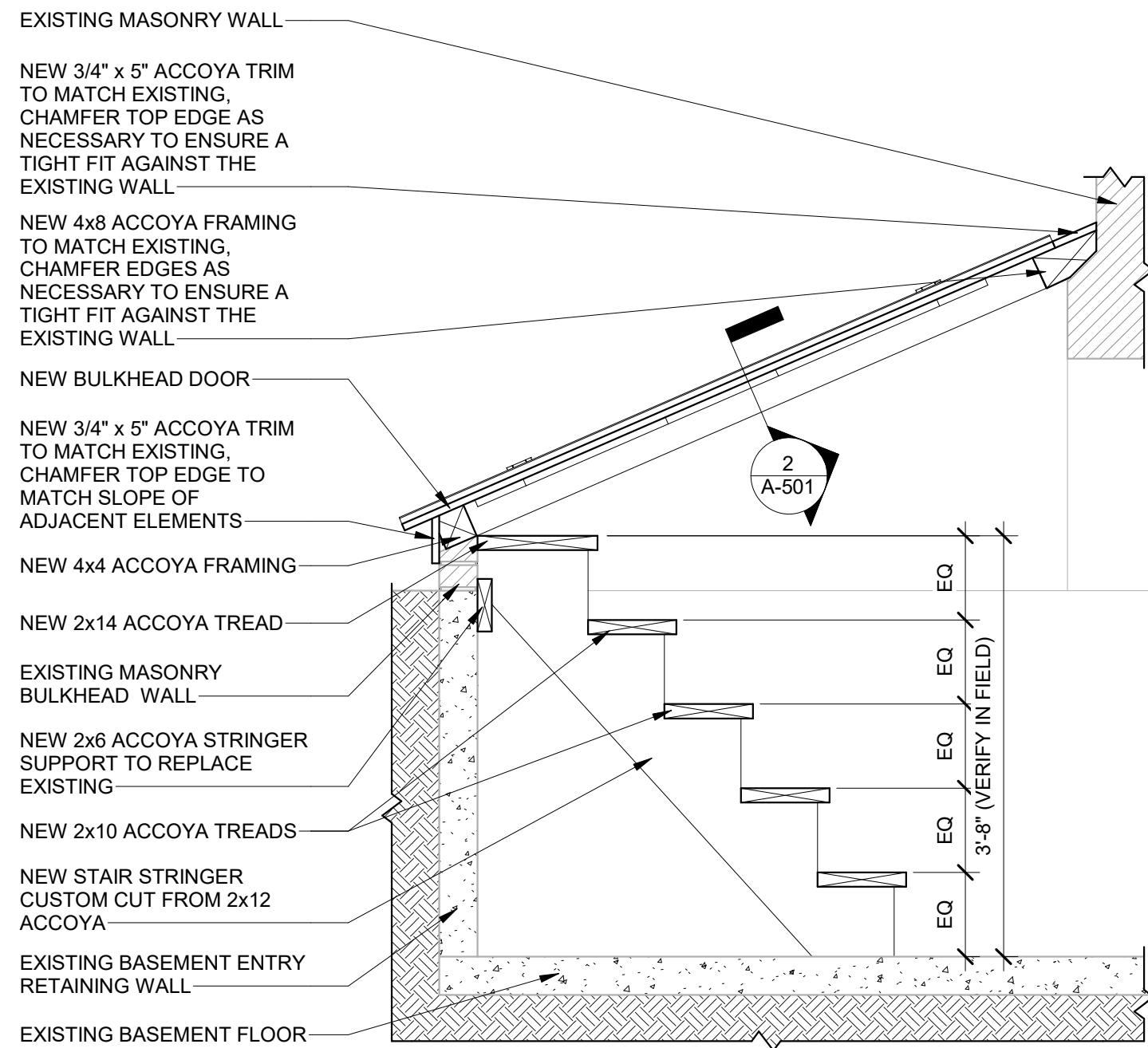
A-301

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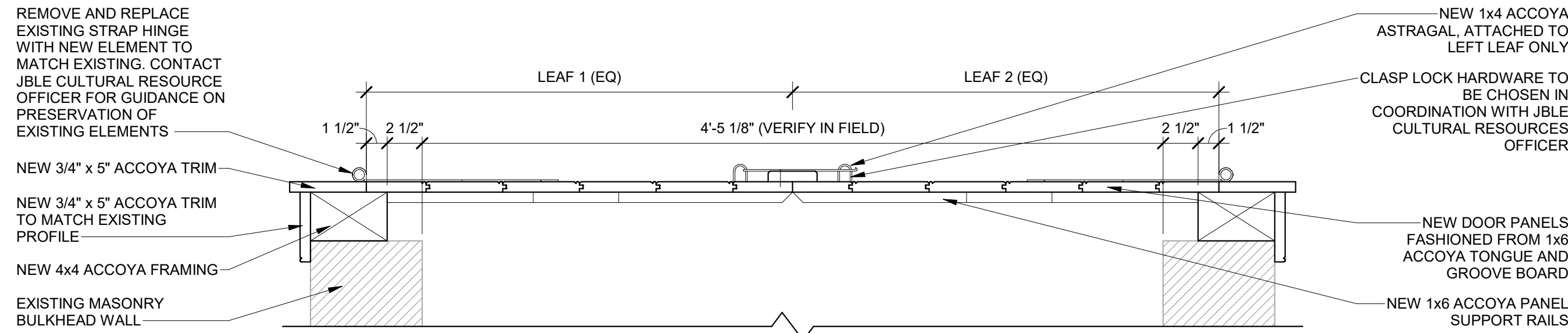


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1
A-501 3/4" = 1'-0"

BULKHEAD DOOR SECTION

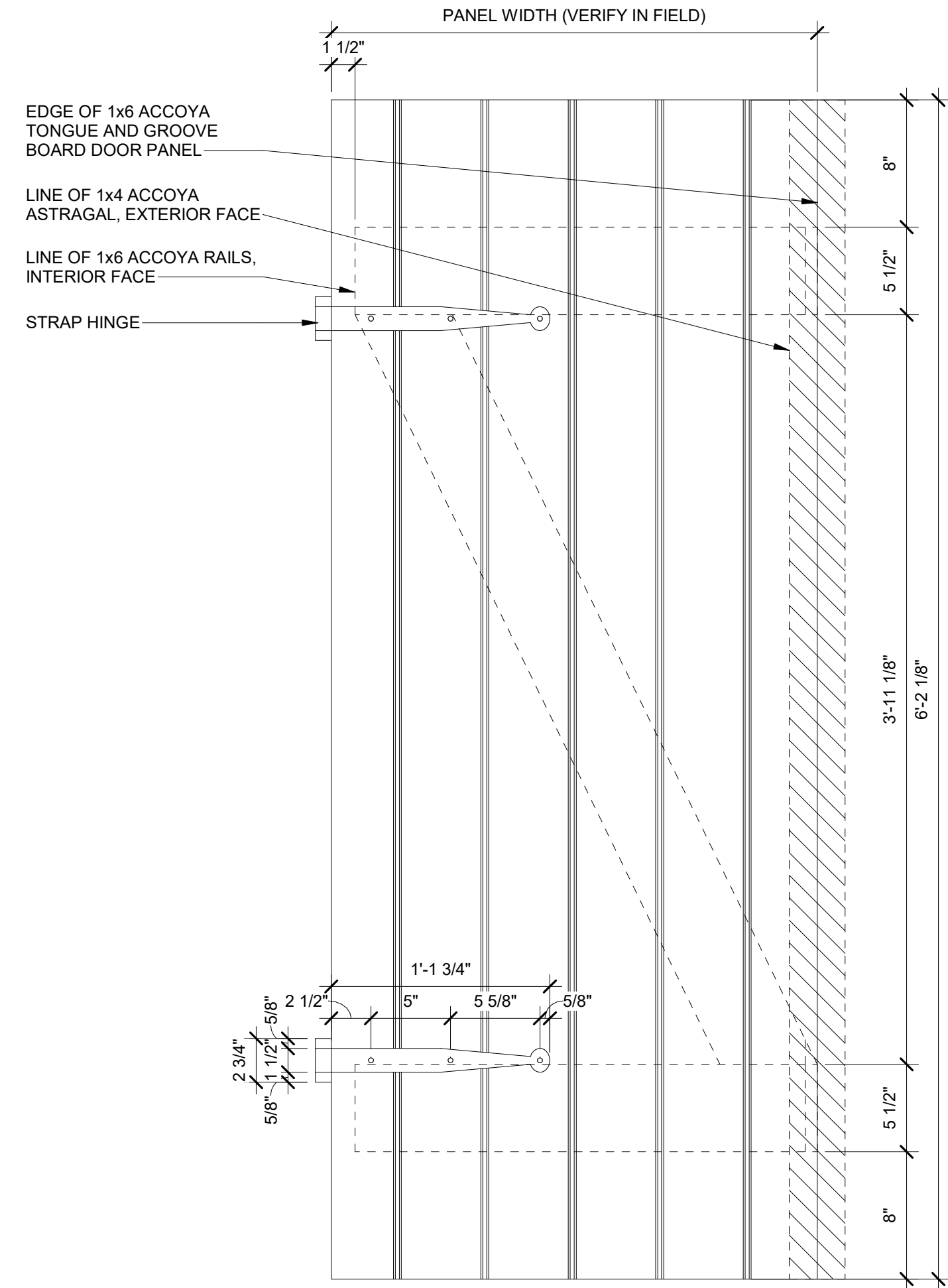


BULKHEAD DOOR LEAF CONSTRUCTION:

- 1x6 ACCOYA RAILS, CHAMFER FACES ADJACENT TO THE INNER EDGE OF THE DOOR AT 45°
- 1x6 ACCOYA TONGUE AND GROOVE BOARD STILES, EVENLY SPACED FROM THE LEAF MIDPOINT AND CUT AS NEEDED
- 1x4 ACCOYA ASTRAGAL, WITH 45° CHAMFERS ON BOTH LENGTHWISE EDGES, EVENLY SPACE OVER THE GAP BETWEEN DOOR LEAFS AND ATTACH TO LEFT DOOR LEAF ONLY

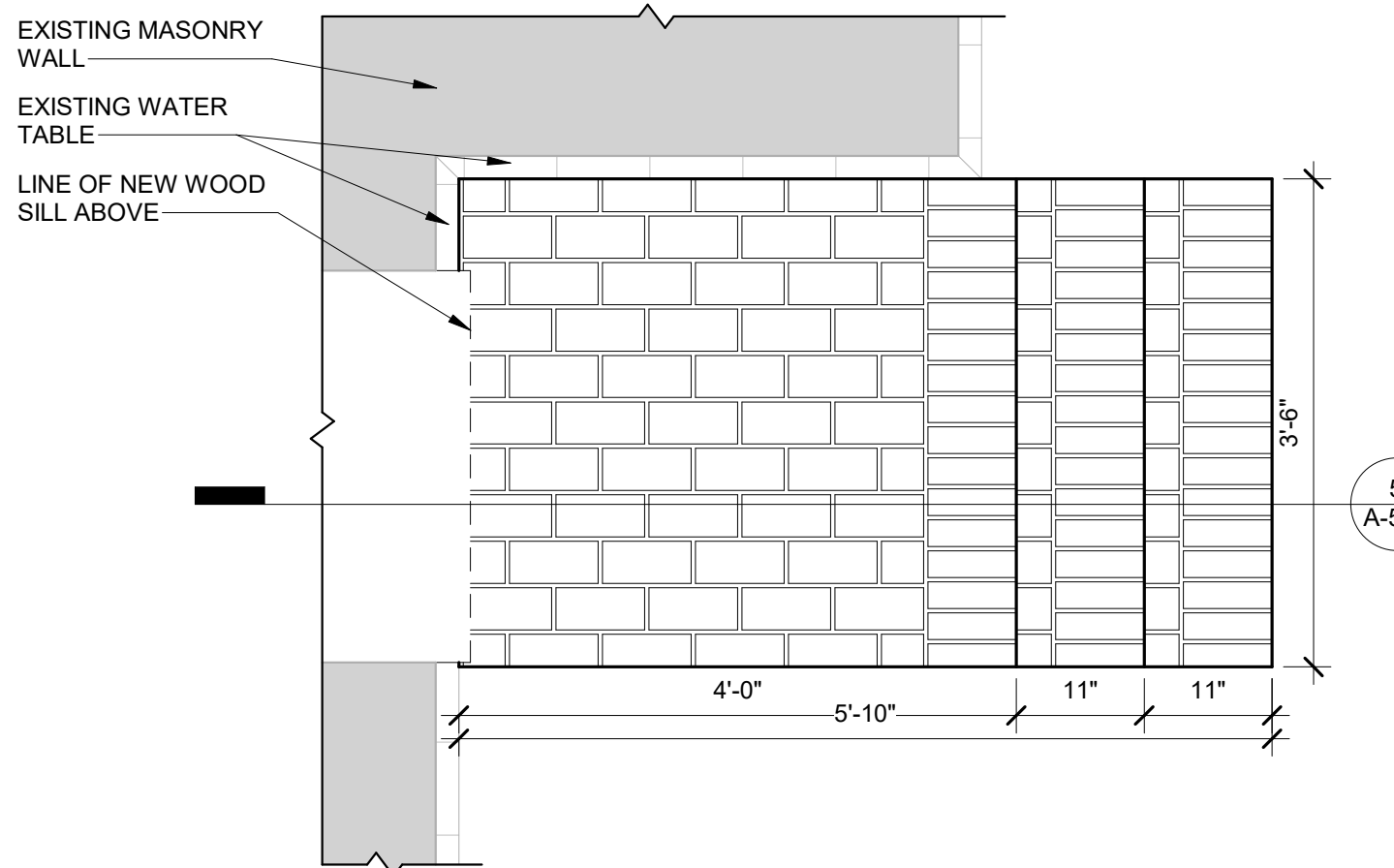
2
A-501 1 1/2" = 1'-0"

BULKHEAD DOOR TRANSVERSE SECTION



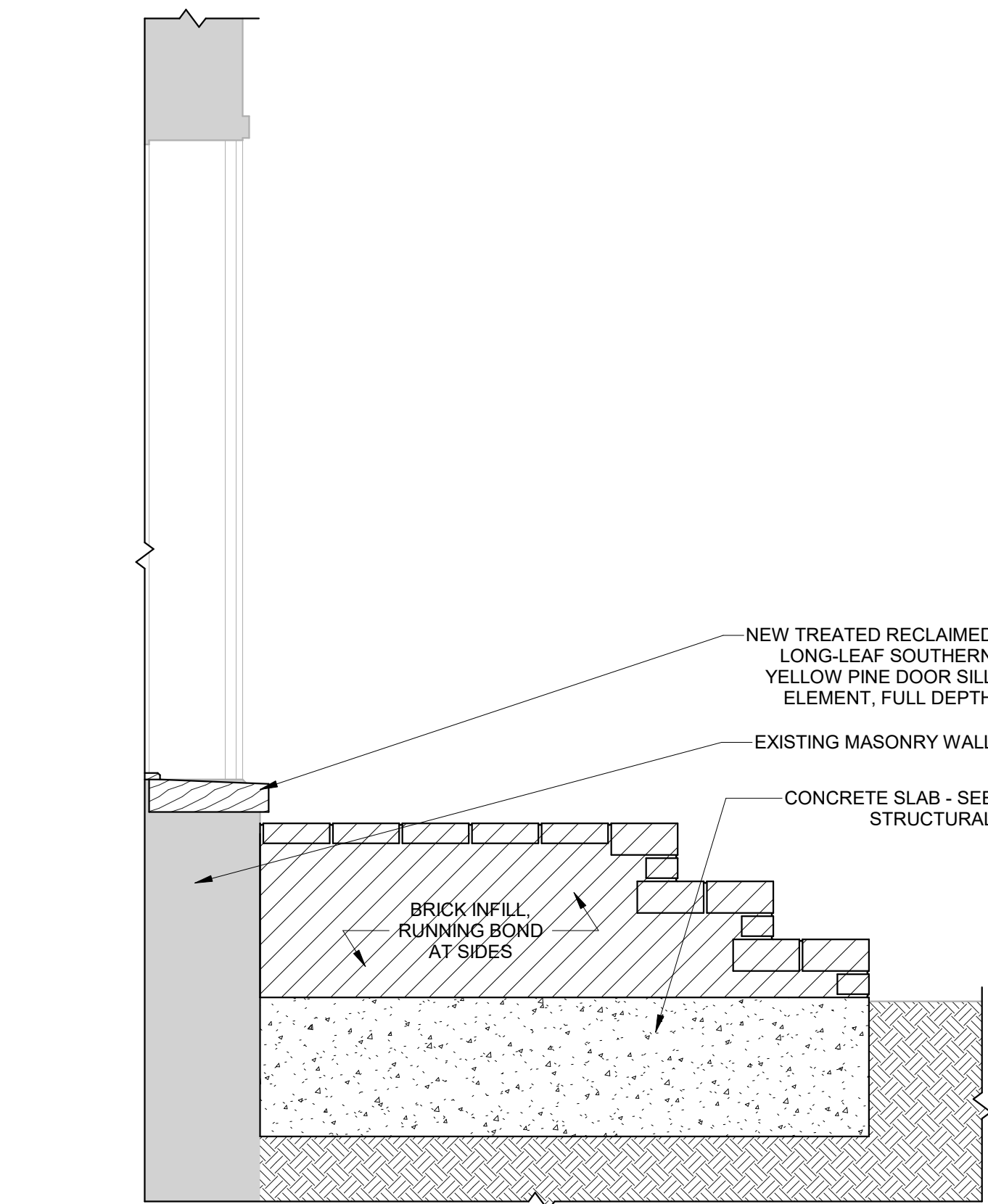
3
A-501 1 1/2" = 1'-0"

BULKHEAD DOOR LEAF DETAIL



4
A-501 3/4" = 1'-0"

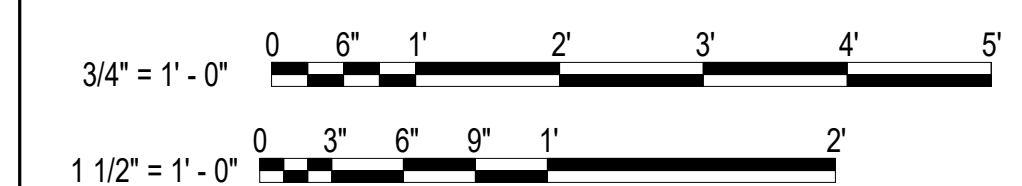
EAST ENTRY STAIRS - NEW WORK PLAN



5
A-501 3/4" = 1'-0"

EAST ENTRY SILL AND STAIRS

GRAPHIC SCALE(S)




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DETAILS

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